



## PLANNING COMMISSION AGENDA

**Tuesday, June 22, 2021**

**Planning Commission Hearings 7:00 p.m.**

**Melanie Schlotterbeck**, Chair

**Gary Brattain**, Vice Chair

**Sara Barnes-Ramos**, Commission  
Member

**Dan Phu**, Commission  
Member

**Amit Chandel**, Commission  
Member

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This agenda contains a brief general description of each item the Commission will consider. The Planning Division has on file copies of written documentation relating to each item of business on this Agenda available for public inspection. Contact the Planning Division at (714) 990-7674 or view the Agenda and related materials on the City's website at [www.cityofbrea.net](http://www.cityofbrea.net).

### **Procedures for Addressing the Commission**

*This meeting is being conducted consistent with Governor Newsom's Executive Order N-29-20 dated March 17, 2020, regarding the COVID-19 pandemic.*

The Commission encourages free expression of all points of view. For record-keeping purposes, if you wish to make a statement regarding any item on the agenda, please complete the form located on the podium and deposit it with the secretary. **To allow all persons the opportunity to speak, please keep your remarks limited to three (3) minutes.** If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of your entire group. Commission rules prohibit clapping, booing or shouts of approval or disagreement from the audience. **PLEASE SILENCE ALL PAGERS, CELL PHONES AND OTHER ELECTRONIC EQUIPMENT WHILE COMMISSION IS IN SESSION.**

- To provide comments in person, the Council Chambers will be open to the public.
- Written comments may be sent to the Planning Division at [planning@cityofbrea.net](mailto:planning@cityofbrea.net) no later than 4:00 p.m. on **Tuesday, June 22, 2021**. Any comments received via email will be summarized aloud into the record at the meeting.
- To provide comments by teleconference (Zoom), members of the public must contact City Staff at (714) 990-7674 or [planning@cityofbrea.net](mailto:planning@cityofbrea.net) no later than 4:00 p.m. on **Tuesday, June 22, 2021**, to obtain the Zoom Meeting ID number and password. Teleconference participants will be muted until recognized at the appropriate time by the Commission.

### **Special Accommodations**

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Division at (714) 990-7674. Notification 48 hours prior to the meeting will enable City staff to make reasonable arrangements to ensure accessibility. (28 CFR 35.102.35.104 ADA Title II)

### **Important Notice**

The City of Brea uploads audio of Planning Commission Meetings at [www.cityofbrea.net](http://www.cityofbrea.net). Your attendance at this public meeting may result in the recording and broadcast of your image and/or voice.

**ALL PLANNING COMMISSION DECISIONS MAY BE APPEALED TO THE CITY COUNCIL WITHIN TEN (10) CALENDAR DAYS OF THE MEETING. PLEASE CONTACT THE CITY CLERK AT (714)**

**990-7756 FOR FURTHER INFORMATION ABOUT FILING AN APPEAL OR OBTAINING AN APPEAL APPLICATION.**



# PLANNING COMMISSION PUBLIC HEARINGS

7:00 p.m. - Council Chambers, Plaza Level

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**1. CALL TO ORDER / ROLL CALL - COMMISSION**

**2. INVOCATION - Chaplain Fernando Villicana of Firehouse Church**

**3. PLEDGE OF ALLEGIANCE**

**4. MATTERS FROM THE AUDIENCE**

*Written comments may be sent to the Planning Division at [planning@cityofbrea.net](mailto:planning@cityofbrea.net) no later than 12:00 p.m. on **Tuesday, June 22, 2021**. Any comments received via email will be summarized aloud into the record at the meeting. To provide comments by teleconference, members of the public must contact City Staff at (714) 990-7674 or [planning@cityofbrea.net](mailto:planning@cityofbrea.net) no later than 12:00 p.m. on **Tuesday, June 22, 2021**, to obtain the Zoom Meeting ID number and password. Teleconference participants will be muted until recognized at the appropriate time by the Commission.*

**APPROVAL OF MINUTES**

- 5.** Approval of Planning Commission Meeting Minutes of April 27, 2021.

**PUBLIC HEARINGS** *This portion of the meeting is for matters that legally require an opportunity for public input. Audience participation is encouraged and is limited to 3 minutes per speaker.*

- 6.** Conditional Use Permit Nos. 2021-01 and 2021-02: A request to enclose a 1,350 square-foot 2nd story balcony; allow modifications to the existing parking lot; and allow a reduction to the required number of off-street parking spaces at 3050 E. Birch Street, in the M-1 (Light Industrial) Zone.
- 7.** Amendment to Conditional Use Permit No. 10-04: A request to enclose a 6,711 square-foot parking area, of a 21,333 square-foot church/religious institution, to be used as an assembly area for services, and allow modifications to the existing parking lot located at 1215 W Lambert Road, in the M-1 (light industrial) zone.

**CONSENT CALENDAR** *The Planning Commission approves all Consent Calendar matters with one motion unless Commission or Staff requests further discussion of a particular item. Items of concern regarding Consent Calendar matters should be presented during "Matters from the Audience."*

**ADMINISTRATIVE ITEMS** - *This agenda category is for Commission consideration of a wide variety of topics. Public comments regarding items in this section should be presented during "Matters from the Audience."*

**8. PLANNING DIVISION UPDATES**

**9. COMMITTEE REPORTS**

**10. INFORMATIONAL / PROJECT UPDATES**

**11. ADJOURNMENT**

City of Brea

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**PLANNING COMMISSION COMMUNICATION**

**TO:** Honorable Chair and Planning Commission

**DATE:** 06/22/2021

**SUBJECT:** Approval of Planning Commission Meeting Minutes of April 27, 2021.

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**RESPECTFULLY SUBMITTED**

Jason Killebrew, City Planner

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**Attachments**

A. Draft Minutes - April 27, 2021

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# DRAFT

## PLANNING COMMISSION MEETING MINUTES STUDY SESSION April 27, 2021

### PLANNING COMMISSION PUBLIC HEARINGS 7:00 p.m. - Council Chambers, Plaza Level

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#### 1. CALL TO ORDER / ROLL CALL - COMMISSION

Meeting called to order at 7:01 pm.

Present: Chair Schlotterbeck; Vice Chair Brattain; Commissioner Barnes-Ramos; Commissioner Phu; Commissioner Chandel

#### 2. INVOCATION - City Planner Killebrew provided the Invocation.

#### 3. PLEDGE OF ALLEGIANCE - Vice Chair Brattain led the Pledge of Allegiance.

#### 4. MATTERS FROM THE AUDIENCE

Adam Moore (via Zoom) made comments related to Shape Brea, Wayfinding signs, street improvements, nice corridors, and a walkable community.

### APPROVAL OF MINUTES

#### 5. Approval of Planning Commission Meeting Minutes of February 23 and March 23, 2021.

Motion was made by Vice Chair Brattain, seconded by Commissioner Chandel to approve the Planning Commission Meeting Minutes from February 23, 2021 and March 23, 2021.

AYES: Chair Schlotterbeck, Vice Chair Brattain, Commissioner Barnes-Ramos, Commissioner Phu, Commissioner Chandel

Passed

### CONSENT CALENDAR

6. Receive and File the Baseline Traffic Monitoring Report for Tentative Parcel Map No. 2016-178 Located at the Northwest Corner of Birch Street and State College Boulevard.

Commissioner Barnes-Ramos recused herself as her home is within 500' of the project.

Principal Civil Engineer, Ryan Chapman, and William Lee from Avalon Bay, and Jason Xu from Xteris provided background on the data collected.

Motion was made by Vice Chair Brattain, seconded by Commissioner Phu to Receive and File the Baseline Traffic Monitoring Report for Tentative Parcel Map No. 2016-178 Located at the Northwest Corner of Birch Street and State College Boulevard

AYES: Chair Schlotterbeck, Vice Chair Brattain, Commissioner Phu,  
Commissioner Chandel

Other: Commissioner Barnes-Ramos (RECUSE)

Passed

## ADMINISTRATIVE ITEMS -

7. Fiscal Year 2021-22 Capital Improvement Program Finding of Conformance with The General Plan

Assistant Civil Engineer Chapman provided a presentation of the item and clarified a few questions from the Commission.

Motion was made by Commissioner Barnes-Ramos, seconded by Commissioner Chandel to find the Fiscal Year 2021-22 Capital Improvement Program Finding of Conformance with The General Plan

AYES: Chair Schlotterbeck, Vice Chair Brattain, Commissioner Barnes-Ramos,  
Commissioner Phu, Commissioner Chandel

Passed

8. **PLANNING DIVISION UPDATES** - Commissioner Phu inquired about a project's status. Chair Schlotterbeck had a minor edit under the "Quality of Life" tab and the word *bring* should be replaced with *provide*. She also requested the report be reorganized by moving approved entitlements to the end.
9. **COMMITTEE REPORTS** - Vice Chair Brattain provided an update on the relocation of the Art in Public Places sculpture piece located at 201 N Berry St.
10. **INFORMATIONAL / PROJECT UPDATES** - Vice Chair Brattain asked for an update for Brea Imperial Center. City Planner Killebrew provided an update. Chair Schlotterbeck asked for input from fellow Commissioners on the Planning Commissioners Academy training they had attended.

**11. ADJOURNMENT**

Meeting adjourned at 7:44 pm.

Respectfully submitted,

The foregoing minutes are hereby  
approved this 22nd day of June, 2021.

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Jason Killebrew, City Planner

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Melanie Schlotterbeck, Chair

**City of Brea**

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**PLANNING COMMISSION COMMUNICATION**

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**TO:** Honorable Chair and Planning Commission

**FROM:** Jason Killebrew, City Planner

**DATE:** 06/22/2021

**SUBJECT: CONDITIONAL USE PERMIT NOS. 2021-01 AND 2021-02: A REQUEST TO ENCLOSE A 1,350 SQUARE-FOOT 2<sup>nd</sup> STORY BALCONY; ALLOW MODIFICATIONS TO THE EXISTING PARKING LOT; AND ALLOW A REDUCTION TO THE REQUIRED NUMBER OF OFF-STREET PARKING SPACES AT 3050 E. BIRCH STREET, IN THE M-1 (LIGHT INDUSTRIAL) ZONE.**

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**REQUEST**

The Applicant, Mr. Wade Shuey, representing the Griffith Company, is requesting a Conditional Use Permit (CUP) for the following:

- To enclose a 1,350 square-foot balcony on the second floor of a two-story, 29,505 square-foot office building; and
- To modify the existing parking lot to add seven parking spaces totaling 116 parking spaces for the site; and
- To reduce the required number of off-street parking spaces at the site.

**RECOMMENDATION**

Staff recommends that the Planning Commission take the following actions:

1. Find the project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA guidelines Section 15301 (Class 1, Existing Facilities); and,
2. Approve CUP No. 2021-01 to allow the enclosure of a 1,350 square-foot balcony and modifications to the existing parking lot, based on the findings and conclusions in the attached resolution (Attachment A), and subject to the recommended conditions of approval (Attachment B); and
3. Approve CUP No. 2021-02 to allow a reduction in the required number of off-street parking spaces at the site from 124 spaces to 116 spaces, based on the findings and conclusions in the attached resolution (Attachment A), and subject to the recommended conditions of approval (Attachment B).

**BACKGROUND/DISCUSSION**

## **BACKGROUND**

**Figure 1: Aerial View of Project Site**

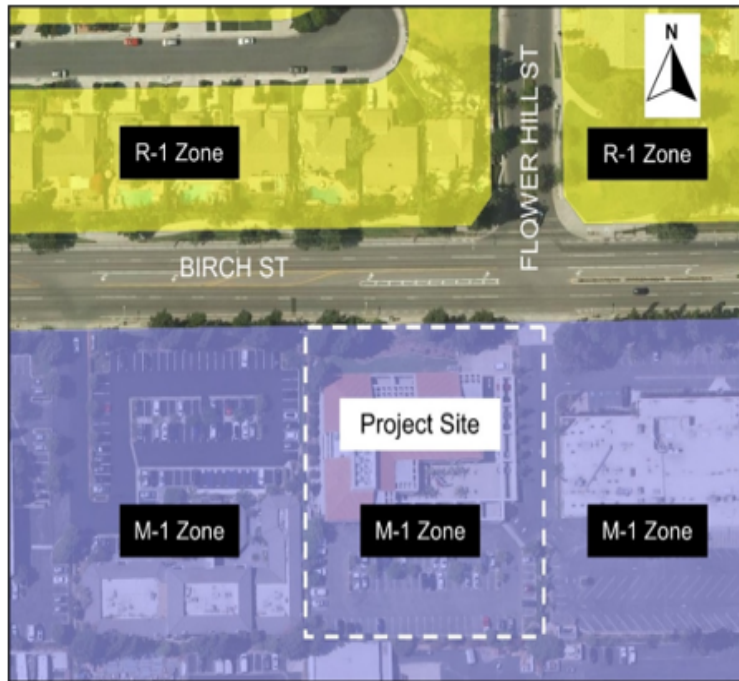


### **Existing Use and Location**

The Applicant (Griffith Company), an owner-occupant of the building, is a general contractor business that offers engineering and construction services for various commercial projects. The office building serves as the administrative office for the business with operating hours of 8:00 A.M. to 5:00 P.M. Monday through Friday, and closed on weekends. The 1.76 project site is located at the southwest corner of the intersection of East Birch Street and South Flower Hill Street and is developed with a two-story, 29,505 square-foot, single-tenant office building, and a surface parking lot with 109 parking spaces. The site has a General Plan Land Use designation and zoning of Light Industrial. Adjacent properties on the east, west, and south are zoned M-1, and to the north, approximately 110' across Birch Street are R-1 (Single-Family Residential) zoned properties.



**Figure 2: Zoning Map**



### **Entitlement History**

On January 28, 1986, the Planning Commission adopted Resolution No. 86-6, approving CUP Nos. 86-3, 86-4, and 86-5 to allow the construction of the existing two-story office building to be located within 300 feet of residentially zoned property, with up to 30% of the required off-street parking spaces to be of compact size. Resolution No. 86-6 is provided as Attachment D of this report.

On March 29, 2021, the Applicant filed CUP Nos. 2021-01 and 2021-02, also herein referred to as the “project”.

### **PROJECT DESCRIPTION**

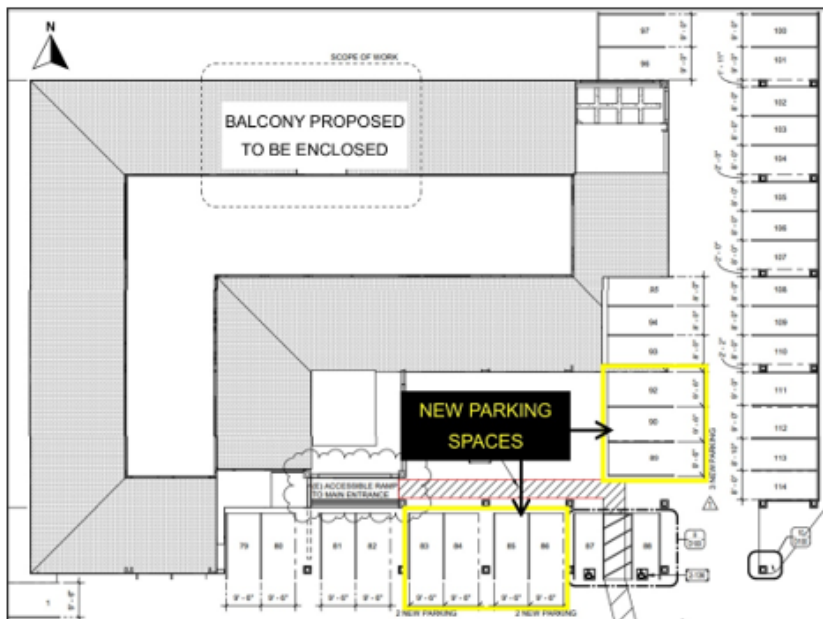
The proposed project seeks to expand the building floor area by enclosing a 1,350 square-foot balcony on the second floor, increasing the total building floor area from 29,505 square-feet to 30,855 square-feet. The new floor area would include offices and a common workspace. Figure 3 below is a current image of the building’s north-facing façade, highlighting the second-story balcony proposed to be enclosed.

**Figure 3: Balcony Proposed to be Enclosed**



The project also proposes to modify the surface parking lot to provide seven new standard parking spaces, providing a total of 116 off-street parking spaces at the site. Figure 4 below is a partial site plan with the location of the proposed seven new parking spaces shown in yellow. These areas are currently improved with open space paved areas with landscape planters.

**Figure 4: Proposed Parking Lot Restriping**



## **ANALYSIS**

### **Development Standards**

Development in the M-1 zone is governed by Section 20.252.040 of the Brea City Code (BCC). The proposed enclosure of the second-story balcony would not result in an increase to the height of the building, lot coverage, or a reduction to the existing front yard setback. Accordingly, as shown in Table 1 below, the proposed project would comply with all applicable development standards of the M-1 zone.

**Table 1: M-1 Zone Building Development Standards**

	Existing	Allowed/Required	Proposed
Building Height	43'-2"	60' maximum	43'-2"
Lot Coverage	approx. 20%	50% maximum	approx. 20%
Front Yard Setback	50'	50'	50'

### Parking

The project site was approved and developed with a surface parking lot with 109 off-street parking spaces. Per Section 20.08.040 of the BCC, administrative offices require one off-street parking space for every 250 square-feet. For the existing 29,505 square-foot office building, the required number of parking spaces is 118 spaces. Since the site provides 109 spaces, an existing shortage of nine spaces currently exists, giving the site a non-conforming status. The proposed enclosing of the second-story balcony would require an additional six off-street parking spaces, for a total off-street parking requirement of 124 spaces. The project proposes to add seven new off-street parking spaces, for a total of 116 spaces at the site. Since the existing building is already deficient by nine spaces, the project as proposed would result in a deficiency of eight spaces, therefore the project would not increase the non-conformity that presently exists. As proposed, the project would reduce the legal non-conforming off-street parking deficiency by one space.

The Applicant has filed a request for a CUP, pursuant to Section 20.08.040.F of the BCC, to reduce the required number of off-street parking spaces at the site to 116 spaces. Parking reductions may be granted by the Planning Commission when: 1) *because of relevant circumstances, parking requirements are considered to be excessive*, and 2) *provided that such exceptions are consistent with the purpose and intent of this section* (Section 20.08.040.F).

Although the site would be deficient eight parking spaces, staff supports the parking reduction for the following reasons:

1. The Griffith Company has a total of 66 employees, with three of those employees working remotely. In addition, the nature of their operations as a general contractor requires some employees to work off-site for bidding, site visits, and to meet with clients. For these reasons, it is unlikely that all employees would be present at the project site at one time. Therefore, the proposed 116 off-street parking spaces would be sufficient to support the parking demand of the Applicant's business operations.
2. The Applicant has indicated that the proposed new building area would be used by project managers and engineers to collaboratively bid on projects and is not designed or intended for additional/new staff. This is supported in the proposed floorplans included as Attachment C of this report. Therefore, the proposed project would not increase the parking demand at the site.
3. The project would provide seven additional parking spaces by modifying the surface parking lot. While the project site would remain parking deficient, with these seven new parking spaces the site would reduce its parking deficiency by one space.

Table 2 below provides an off-street parking summary of the proposed project.

**Table 2: Off-Street Parking**

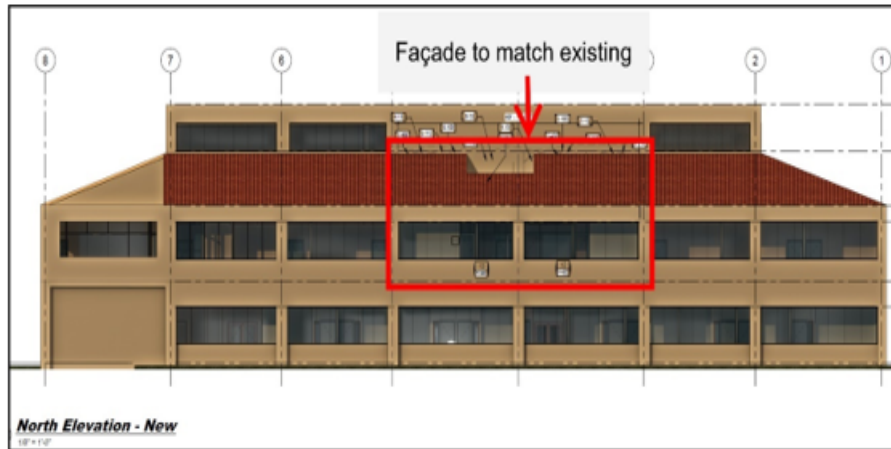
	Building Size	Parking Required	Parking Provided
Existing	29,505 SF	118 spaces (29,505 / 250)	109 spaces
Addition	1,350 SF	6 spaces (1,350 / 250)	7 spaces
Total	30,855 SF	124 spaces	116 spaces
124 spaces required minus 116 spaces provided = 8 spaces short			

Use Section 20.252.020 of the BCC allows administrative and professional offices as a permitted use in the M-1 zone subject to a CUP. The proposed project would continue using the building, including the new floor area, for administrative and office-related activities. The proposed expansion represents an increase of less than five percent (5%) over the existing building floor area. All business activities are conducted entirely indoors, and during normal office hours of 8:00 A.M. to 5:00 P.M. Monday through Friday. Therefore, the continued use of the building for an administrative office would be an appropriate use of the site and would not adversely affect any of the surrounding uses.

#### Plan Review

All proposed development in the M-1 zone requires a Plan Review subject to the approval of the Community Development Director (Director), as described in Section 20.252.050 of the BCC. Since this project includes a CUP request subject to review and consideration by the Planning Commission, the Director is deferring reviewing authority to the Planning Commission. Proposed exterior modifications include new walls, windows, and roof that would match the existing colors and materials of the building while maintaining a uniform wall plane. This is further supported by Condition B of the draft conditions of approval, provided as Attachment B to this report, which requires exterior finishes to match those of the existing building. Therefore, the proposed exterior improvements would not result in any adverse impacts to the surrounding area because: 1) all exterior improvements would complement the existing building, 2) the project would not increase the height of the building, and 3) all business activities would be conducted indoors. Figure 5 below highlights the proposed project incorporated into the existing building elevation.

**Figure 5: Proposed Elevation**



## **PUBLIC NOTICE AND COMMENTS**

This project was noticed in accordance with the City's public noticing requirements, which involved mailed notices and publication in the local paper. The public hearing notice for this project is provided as Attachment E. As of the writing of this report, staff has not received any public correspondence.

## **CONCLUSION**

Based on the information provided in the application and through the analysis presented in this report, staff recommends that the project be approved. The project, as designed and conditioned in Attachment B, is suitable for the site and would not present any adverse impacts to the City as further outlined in the draft resolutions (Attachment A). Therefore, staff recommends approval of the project.

## **ENVIRONMENTAL ASSESSMENT**

This project has been assessed in accordance with the CEQA guidelines, and the environmental regulations of the City. Upon review, the proposed project qualifies for a Class 1 Categorical Exemption (Existing Facilities) in accordance with the requirements of Section 15301 of the state CEQA guidelines. This exemption is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The proposed project qualifies for this exemption as the enclosing of the 1,350 square-foot area would be considered a negligible expansion of an existing or former use. A Notice of Exemption has been and is included as Attachment F to this report.

## **RESPECTFULLY SUBMITTED**

Jason Killebrew, City Planner

Prepared by: Juan Arauz, AICP, Senior Planner

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## **Attachments**

A. Draft Resolution

- B. Draft Conditions of Approval
  - C. Project Plans
  - D. Planning Commission Resolution 86-6
  - E. Public Hearing Notice
  - F. Notice of Exemption
  - G. Technical Background
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**RESOLUTION NO. PC 2021-xx**

**CONDITIONAL USE PERMIT NOS. 2021-01 AND 2021-02: A REQUEST TO ENCLOSE A 1,350 SQUARE-FOOT 2ND STORY BALCONY; ALLOW MODIFICATIONS TO THE EXISTING PARKING LOT; AND ALLOW A REDUCTION TO THE REQUIRED NUMBER OF OFF-STREET PARKING SPACES, AT 3050 E. BIRCH STREET, IN THE M-1 (LIGHT INDUSTRIAL) ZONE.**

**A. RECITALS:**

(i) The Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Conditional Use Permit Nos. 2021-01 (CUP 2021-01) and 2021-02 (CUP 2021-02), to allow the enclosure of a 1,350 square-foot balcony on the second floor of a two-story, 29,505 square-foot office building; allow modifications to the existing parking lot to add seven parking spaces totaling 116 parking spaces; and allow a reduction to the required number of off-street parking spaces at the site.

(ii) The subject property is located at 3050 E. Birch Street, and further legally described as Assessor Parcel Number 320-222-20 with the County of Orange.

(iii) The project Applicant is Mr. Wade Shuey, representing the Griffith Company, 3050 E. Birch Street, Brea, CA 92821.

(iv) The property has a General Plan Land Use and zoning designation of Light Industrial.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

(vi) To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by this approval; and (ii) any and all



**Resolution No. 2021-XX****Page 2****Applicant: Mr. Wade Shuey****CUP Nos. 2021-01 and 2021-02**

claims, lawsuits, liabilities, and/or actions arising out of, or related to the approval of this permit and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend, and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitees' choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.
2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. Upon review, the Project qualifies for a Class 1 Categorical Exemption (Existing Facilities) in accordance with the requirements of Section 15301 of the CEQA Guidelines. This exemption is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The project involves the enclosure of a 1,350 square-foot balcony which is a negligible expansion of the existing 29,505 square-foot building. Therefore, the Planning Commission finds the Project exempt from the environmental review requirements of CEQA.

**Resolution No. 2021-XX****Page 3****Applicant: Mr. Wade Shuey****CUP Nos. 2021-01 and 2021-02**

3. The Commission further finds in consideration of CUP No. 2021-01 and 2021-02 as follows:

a. Finding: That the use applied for at the location set forth in the application is one for which a CUP is authorized by this title.

Fact: The site is zoned Light Industrial (M-1), where administrative and professional offices are permitted subject to a conditional use permit. On January 28, 1986, the Planning Commission approved CUP Nos. 86-3, 86-4, and 86-5 to allow the construction, and use of, the existing two-story office building. The project will maintain the office use at the site as previously approved. Further, Section 20.08.040.F of the Brea City Code (BCC) allows the Planning Commission to grant parking reductions when: 1) because of relevant circumstances, parking requirements are considered to be excessive, and 2) provided that such exceptions are consistent with the purpose and intent of said section. Therefore, the use applied for at the site is one for which a CUP is authorized.

b. Finding: The project, with conditions as imposed, is desirable for the development of the community, in harmony with the various elements or objectives of the General Plan, and not detrimental to existing uses or uses permitted in the zone.

Fact: The building at the site was originally developed to be used as an administrative and professional office building. The new floor area created from enclosing the 1,350 square-foot balcony will continue to be used for office and administrative functions. The project will not introduce new uses at the site or modify the existing business operating hours of 8:00 A.M. to 5:00 P.M. Monday through Friday. Further, the General Plan Land Use designation of light industrial is intended to accommodate low intensity uses contained entirely within buildings, where offices are allowable uses. The project is also supported by General Plan Goal CD-24 in that it

**Resolution No. 2021-XX****Page 4****Applicant: Mr. Wade Shuey****CUP Nos. 2021-01 and 2021-02**

maintains and expands the City's diverse employment base, including office, retail, manufacturing, and industrial businesses. Therefore, the project is harmonious with various elements of the General Plan and will not be detrimental to existing uses or uses permitted in the zone.

c. Finding: The site is adequate in size and shape to accommodate the proposed development and to accommodate the proposed use.

Fact: At 1,350 square-feet, the new floor area represents an increase of less than five-percent over the existing building floor area. Since the additional floor area will be created by enclosing an existing second-story balcony, the project will not increase the building lot coverage at the site. The enclosing of the second-story balcony will not affect vehicular access to the site provided from Birch Street, or affect internal vehicular circulation. The project will provide a total of 116 off-street parking spaces at the site. According to the Applicant's business operations, there are a total of 66 employees, with three of their employees working remotely. In addition, the nature of the Applicant's operations as a general contractor requires some employees to work off-site for bidding, site visits, and to meet with clients. For these reasons, it is unlikely that all employees would be present at the project site at one time. As a result, 116 off-street parking spaces is sufficient to support the parking demand of the Applicant's business operations. Therefore, the site is adequate in shape and size for the professional office use.

d. Finding: The proposed site relates to streets and highways which are properly designed and improved to carry the type of quantity of traffic generated.

Fact: Vehicular access to the site will continue to be from Birch Street, which is a four-lane, arterial boulevard. The professional office use on the site will

**Resolution No. 2021-XX****Page 5****Applicant: Mr. Wade Shuey****CUP Nos. 2021-01 and 2021-02**

not generate significant traffic or vehicular queuing along Birch Street as the site provides adequate parking for all employees.

e.     Finding:         That with the conditions stated in the permit, the uses will not adversely affect the public, health, safety, or general welfare.

Fact:           The use of the site for administrative and office related operations will function similarly to other offices throughout the City. All operations will be held within the existing building. The office use does not propose activities or operations that will be harmful to the public health, safety, and welfare of the City. The project is required to meet all Building and Fire codes and standards, thereby assuring the public health, safety, and welfare.

4.       Conditional Use Permit Nos. 2021-01 and 2021-02 are hereby approved, subject to the conditions found in Attachment A of this resolution.

**Resolution No. 2021-XX**

**Page 6**

**Applicant: Mr. Wade Shuey**

**CUP Nos. 2021-01 and 2021-02**

5. The Secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 22<sup>th</sup> day of June 2021.

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Chairman, Planning Commission

I, Jason Killebrew, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 8<sup>th</sup> day of December 2020 and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 22<sup>nd</sup> day of June 2021, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

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Secretary, Planning Commission

**Attachment A – Resolution No. 2021-XX**

**Conditions of Approval**

**Planning (conditions from Planning Commission Resolution No. 86-6)**

- a. Business operations shall occur in substantial conformance with the plans presented to the Planning Commission on June 22, 2021, on-file in the Planning Division, and with the conditions contained herein, and all applicable Federal, State, County, and City regulations. Uses for this development/site are restricted to the following:

- 1) Administrative and Professional Offices, excluding medical and dental offices.

- b. The site shall maintain a minimum of five-foot wide perimeter landscape strips along the property lines, exclusive of the driveway area.

**Planning**

- c. All exterior improvements, including colors and materials, shall match those of the existing building. As shown on the elevations of the submitted plans, all new stucco shall match existing color and texture, and new roof tile shall match existing.
- d. All parking lot improvements shall be consistent with the plans presented to, and approved by, the Planning Commission. The surface parking lot shall remain free and clear of storage and debris, and shall be used exclusively for vehicle parking.
- e. The new building floor area on the second floor shall be constructed in substantial conformance with the plans presented to, and approved by, the Planning Commission.
- f. To the fullest extent permitted by law, the Applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by this approval; and (ii) any and all claims, lawsuits, liabilities, and/or actions arising out of, or related to the approval of this permit and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend, and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitees' choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

**Building and Safety**

- g. Upon building plan check, a seismic analysis for the building shall be provided to verify the existing lateral system.

## **ATTACHMENT B**

- h. Upon building plan check, five complete set of plans or electronic submittal will be required that includes structural calculations, Title 24, and fire life safety analysis with proposed occupant loads.









05/04/2021

Number	Revision	Description	Date
1	Plan Check #1 Revisions		03-18-21

OCCUPANT LOAD / EXITING

**OCCUPANT LOAD:**  
**FIRST FLOOR:**  
TOTAL FIRST FLOOR AREA = 17,960 SF  
(E) OFFICE AREA: 11,600 SF / 150 SF = 116 OCC  
(E) TRAINING ROOM: 375 SF / 20 SF = 19 OCC  
(E) LOUNGE AREA: 445 SF / 15 = 30 OCC  
(E) BALCONY AREA: 840 SF / 300 SF = 3 OCC  
(E) STORAGE AREA: 434 SF / 300 SF = 2 OCC  
(E) CONFERENCE ROOM AREA: 400 SF / 100 SF = 4 OCC  
(E) RESTROOMS & ACCESSORY USES: 325 SF / 0 = 0 OCC =  
TOTAL FIRST FLOOR OCC = 174 X 2" = 52" REQ. EXIT WIDTH.  
2 DOORS AT 72" EACH = 144" TOTAL = OK  
**SECOND FLOOR:**  
TOTAL SECOND FLOOR AREA = 15,420 SF  
(E) OFFICE AREA: 6,640 SF / 150 SF = 44 OCC  
(E) IT AREA: 230 SF / 150 SF = 2 OCC  
(E) TRAINING ROOM: 375 SF / 20 SF = 19 OCC  
(E) LOUNGE AREA: 445 SF / 15 = 30 OCC  
(E) BALCONY AREA: 840 SF / 300 SF = 3 OCC  
(E) STORAGE AREA: 434 SF / 300 SF = 2 OCC  
(E) CONFERENCE ROOM AREA: 400 SF / 100 SF = 4 OCC  
(E) RESTROOMS & ACCESSORY USES: 325 SF / 0 = 0 OCC  
(N) OFFICE ADDITION: 1,350 SF / 150 SF = 9 OCC  
TOTAL SECOND FLOOR OCC = 113 X 3" = 34" REQ. EXIT WIDTH.  
2 STAIRS AT 42" EACH = 84" EXITING PROVIDED  
2 DOORS AT 72" EACH = 144" TOTAL = OK  
**BUILDING OCCUPANCY TOTAL: 287 OCCUPANTS**  
144 OCC X 2" = 288" REQ. EXITING, 72" PROVIDED = OK  
OCCUPANCY LOAD OF 287 < 500 - 2 EXIT REQUIRED = OK

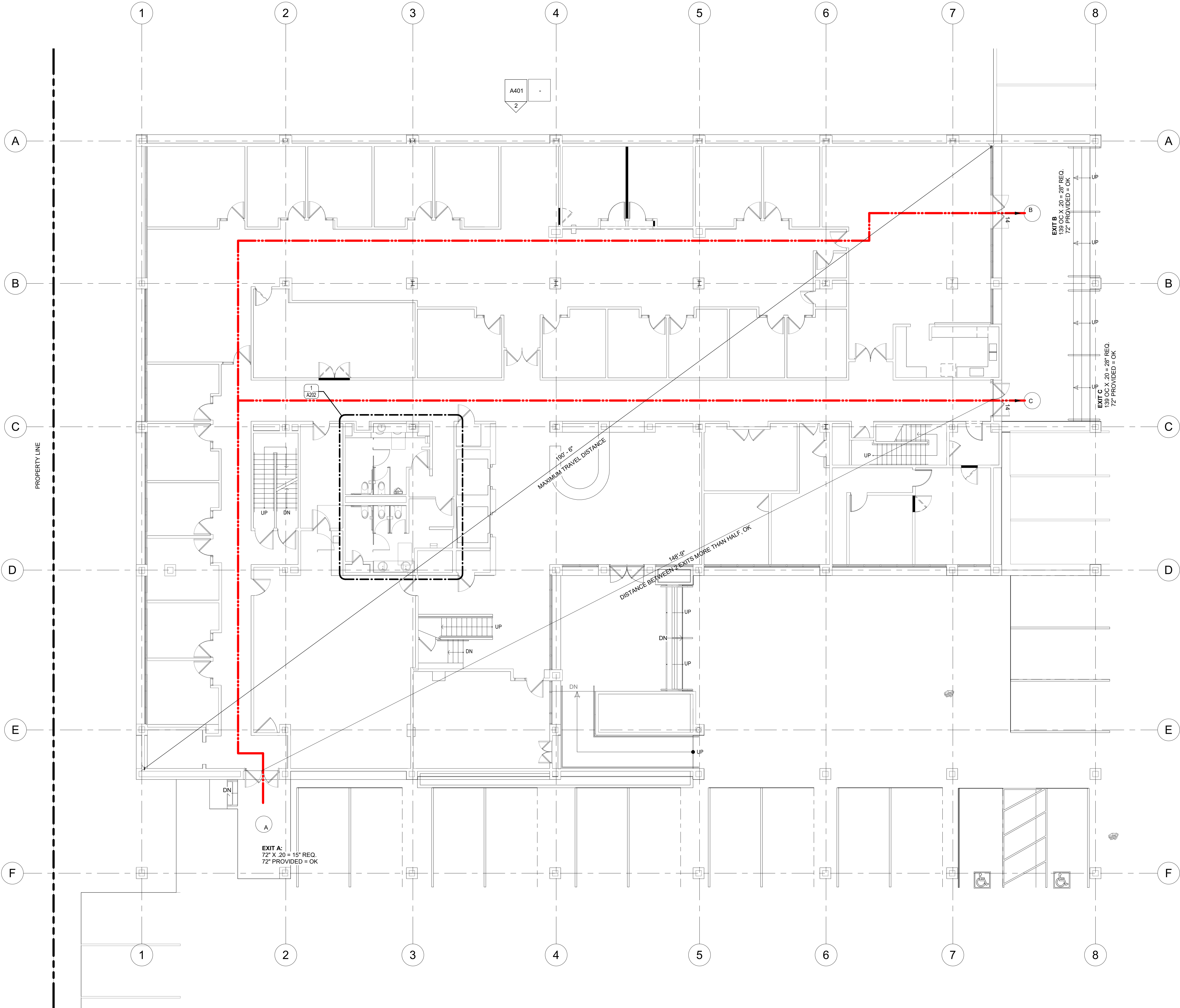
EXITING DISTANCE

Table 1017.2 Exit Access Travel Distance		
Occupancy	Without Sprinkler System (feet)	With Sprinkler System (feet)
A, E, F-1, M, R, S-1	200 <sup>a</sup>	250 <sup>b</sup>
R-2, I	NOT PERMITTED	250 <sup>c</sup>
B	200	300 <sup>c</sup>
F-2, S-2, U	300	400 <sup>c</sup>
H-1	NOT PERMITTED	75 <sup>d</sup>
H-2	NOT PERMITTED	100 <sup>d</sup>
H-3	NOT PERMITTED	150 <sup>d</sup>
H-4	NOT PERMITTED	175 <sup>d</sup>
H-5	NOT PERMITTED	200 <sup>c</sup>
I-2, I-2.1, I-3 <sup>e</sup> , I-4	NOT PERMITTED	200 <sup>c</sup>
L	NOT PERMITTED	200 <sup>c</sup>

TRAVEL DISTANCE TO EXIT

Travel Distance To Exit	
(A) Distance To Exit = 125'	
(B) Distance To Exit = 125'	

NOTE:  
ONLY THE LONGEST DISTANCE ARE INCLUDED IN THIS  
SCHEDULE TO SHOW COMPLIANCE WITH 250' MAX  
TRAVEL DISTANCE IN TABLE 2017.2 OF THE CBC



1 **FIRST FLOOR OVERALL PLAN**  
1/8" = 1'-0"

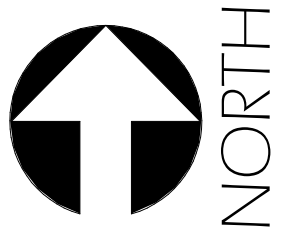
Office Tenant Improvement

Griffith Company

20-109

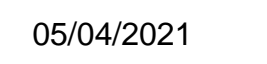
02/09/2021

3050 E. Birch Street  
Brea, CA 92821



A200


Overall 1st Floor Plan



This detailed floor plan illustrates the 2nd floor of the Federal Reserve Bank of New York. The plan includes numerous rooms and areas, many of which are designated as existing (E) or new (N). Key features include:

- Top Section:** A large hatched area labeled "AREA OF ALTERATION" is located at the top center. To its left are several (E) OFFICE spaces and an (E) STOR. room. To its right are more (E) OFFICE spaces, an (E) CONF. ROOM, and an (E) BALCONY.
- Left Side:** Features include (E) I.T. ROOMs, a RECEPT. area, STAIRS #2, a COMPUTER TRAINING ROOM, and an (E) BALCONY.
- Center:** A central area contains a (E) CLERICAL AREA, a (E) LOBBY, and a (E) MEN'S/WOMEN'S area with restrooms and elevators. STAIRS #1 is located near the bottom center.
- Right Side:** Includes an (E) WORK-OUT ROOM, an (E) BATH, and several (E) OFFICE spaces. STAIRS #3 is located near the top right.
- Bottom Section:** Features include an (E) OPEN OFFICE AREA, an (N) OFFICE, and several (E) OFFICE spaces and (E) BALCONYs.
- Other Labels:** Various other rooms are labeled, such as (E) STOR., (E) FILE ROOM, (E) BALCONY, and (E) MEN'S/WOMEN'S.

The plan uses different line styles and shading to indicate existing and new construction, as well as areas of alteration. A north arrow is located in the upper right corner.



# A201

## Overall 2nd Floor Plan

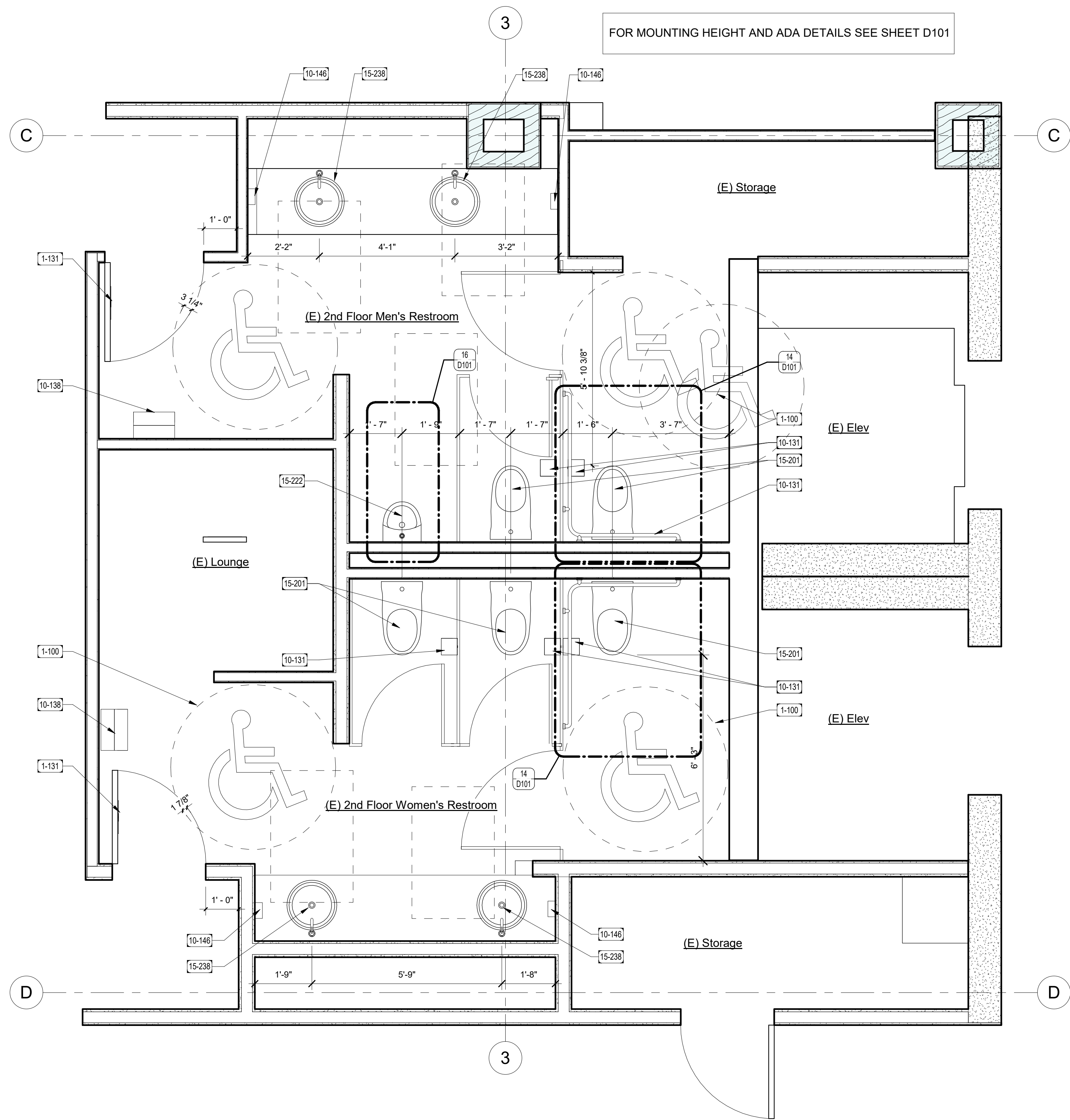




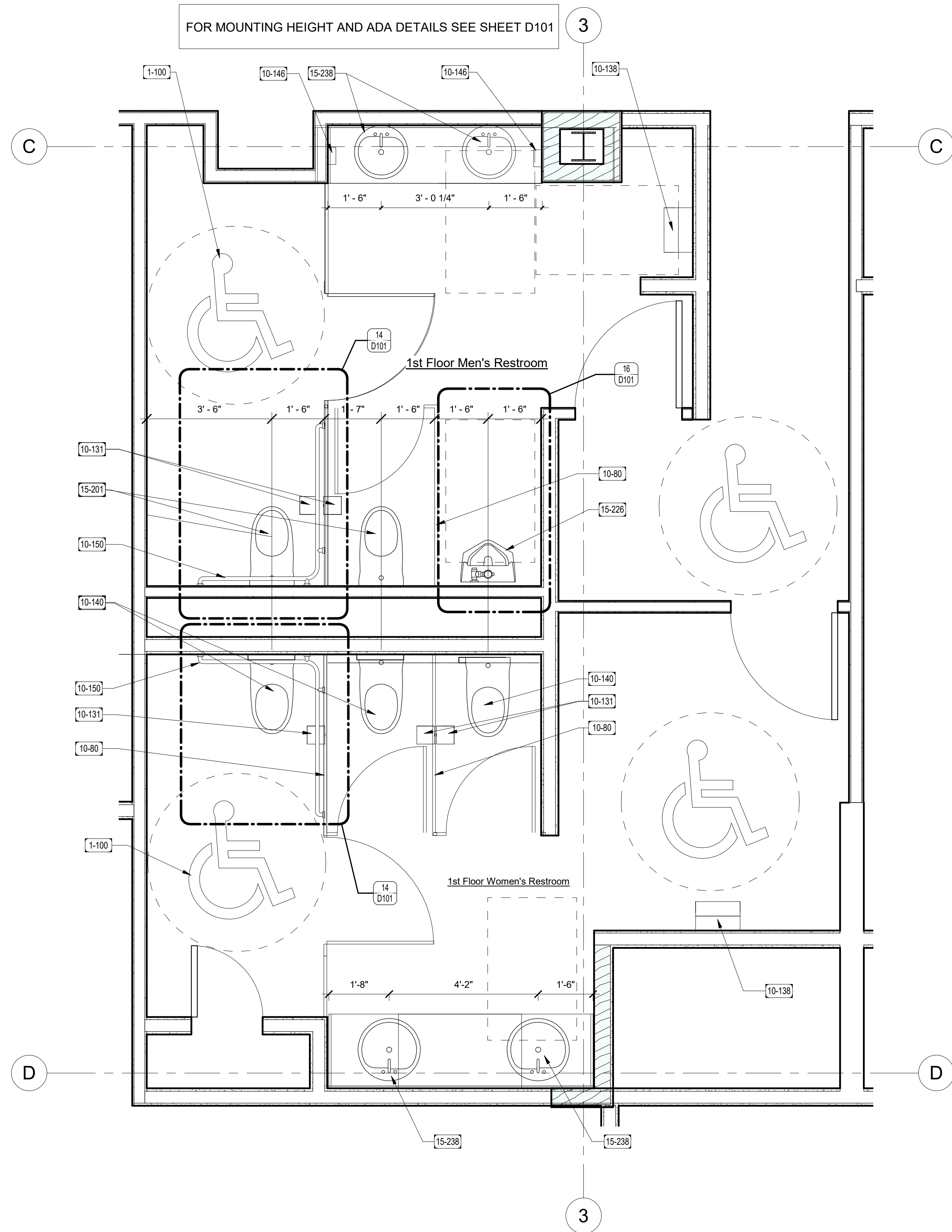
05/04/2021

Number	Revision	Description	Date
1	Plan Check #1	Revisions	03-18-21

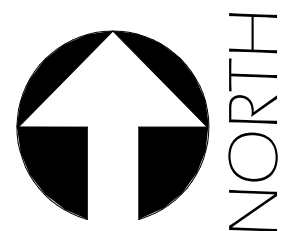
Key Value	Keynote Text
1-100	60" DIAMETER CLEAR TURNING AREA
1-131	DOORWAYS LEADING TO WOMEN'S TOILET ROOMS SHALL HAVE A 12 INCH DIAMETER CIRCLE 1/4 INCH THICK. THE SYMBOL SHALL BE CENTERED ON THE DOOR, 60 INCHES ABOVE THE FLOOR AND IN A COLOR AND CONTRAST DIFFERENT FROM THE DOOR. ALSO, PROVIDE A SEPARATE SIGN ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR (ALLOWING A PERSON TO APPROACH WITHIN 3' OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR) WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND CORRESPONDING VERBAL DESCRIPTION USING RAISED LETTERING AND GRADE II BRAILLE.
10-80	1" THICK HIGH PRESSURE LAMINATED PLASTIC FACED TOILET PARTITION, OVERHEAD BRACED, FLOOR MOUNTED WITH STAINLESS STEEL HARDWARE, FASTENERS AND SHOES. 24" WIDE DOOR AT STANDARD COMPARTMENT, 36" WIDE SELF-CLOSING DOOR AT DISABLED ACCESSIBLE COMPARTMENT (34" MINIMUM CLEAR OPENING). THE INSIDE AND OUTSIDE OF THE ACCESSIBLE COMPARTMENT SHALL BE EQUIPPED WITH A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE LATCH SHALL BE A FLIP-OVER STYLE, SLIDING OR OTHER HARDWARE NOT REQUIRING THE USER TO GRASP OR TWIST.
10-131	STAINLESS STEEL SURFACE MOUNTED DUAL ROLL TOILET TISSUE HOLDER (BRADLEY #5402, OR EQUAL)
10-138	GP ENMOTION TOWEL DISPENSER OR EQUAL
10-140	SEAT COVER DISPENSER (BRADLEY #684, OR EQUAL)
10-146	STAINLESS STEEL SURFACE MOUNTED HORIZONTAL LIQUID SOAP DISPENSER (BRADLEY, OR EQUAL)
10-150	L SHAPED (2 SIDED) GRAB BAR MOUNTED 33" ABOVE FLOOR (BRADLEY OR EQUAL)
15-201	FLUSH VALVE WATER CLOSET (1.6 GALLONS PER FLUSH MAXIMUM). PROVIDE FLUSH VALVE ON THE WIDE SIDE OF THE TOILET (AMERICAN STANDARD MADERA ADA EL 1.6) (SHALL MEET ANSI A112.19.2)
15-222	WALL-HUNG URINAL (AMERICAN STANDARD SMALL SIZE FLOWISE FLUSH FREE URINAL 6155.100.020 ). INSTALL SO TOP OF RIM IS 17" FROM FINISH FLOOR. WATERLESS.
15-226	WALL-HUNG URINAL (AMERICAN STANDARD LYNBROOK 1.0 - WHITE). INSTALL SO TOP OF RIM IS 17" FROM FINISH FLOOR
15-238	LAVATORY WITH FAUCET. OWNER TO SELECT CONTACTOR TO INSTALL.



2 **(E) 2nd Floor Restrooms**  
1/2" = 1'-0"



1 **(E) 1st Floor Restroom**  
1/2" = 1'-0"



Office Tenant Improvement

Griffith Company

20-109  
02/09/2021  
3050 E. Birch Street  
Brea, CA 92821

A202

Enlarged Restrooms





05/04/2021

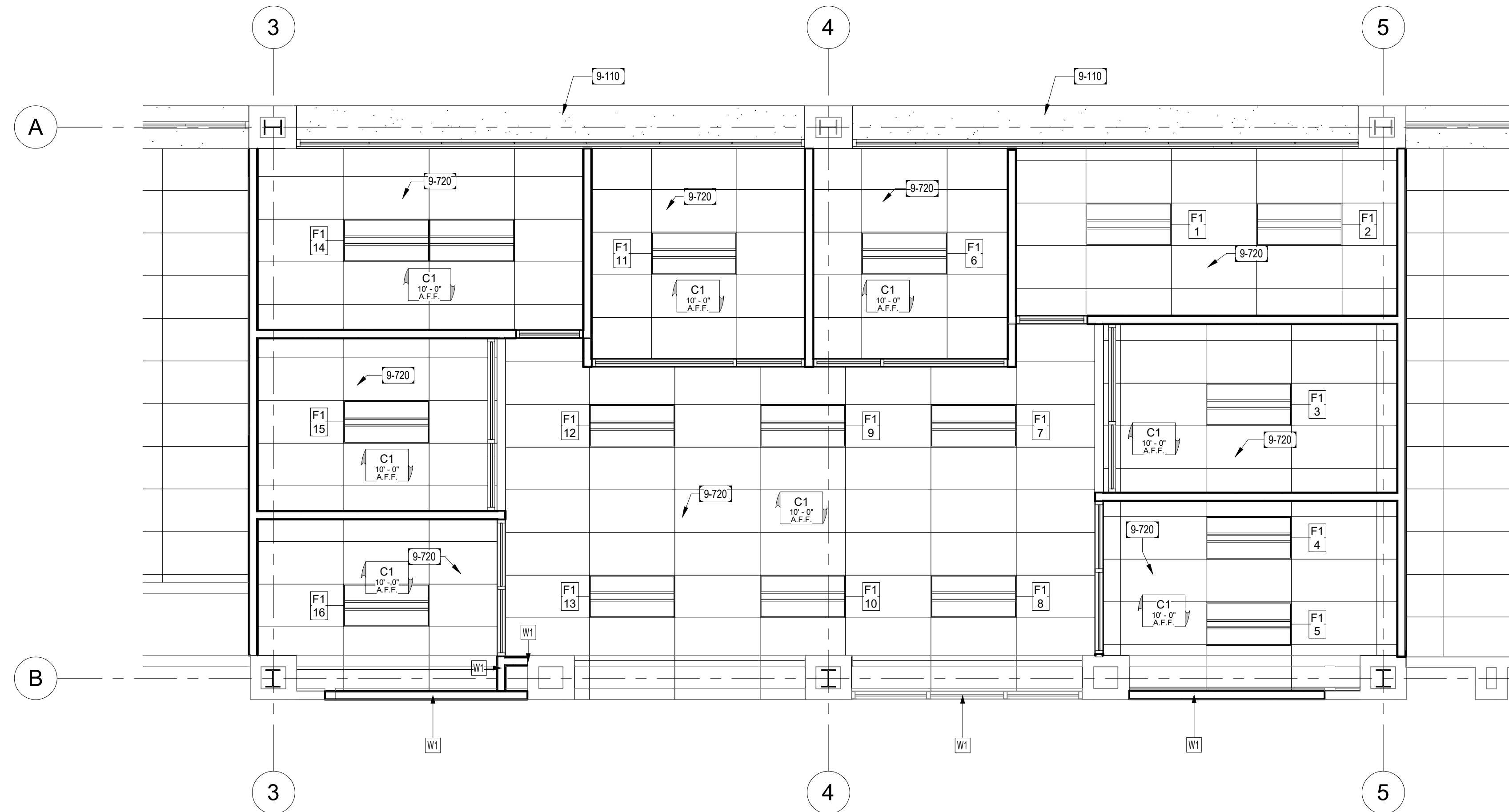
Number	Description	Date
1	Plan Check #1 Revisions	03-18-21

Wall Schedule (New Walls)								
Type Mark	Type	Structural Material	Side1 - Finish Mat.	Core Type	Side2 - Finish Mat.	Insu.	Detail	
W1	INT - S1 - GB - 3 5/8" - GB	Metal Stud Layer	5/8" Gypsum Wallboard	3 5/8" Metal Stud	5/8" Gypsum Wallboard	R-13	8/D100	

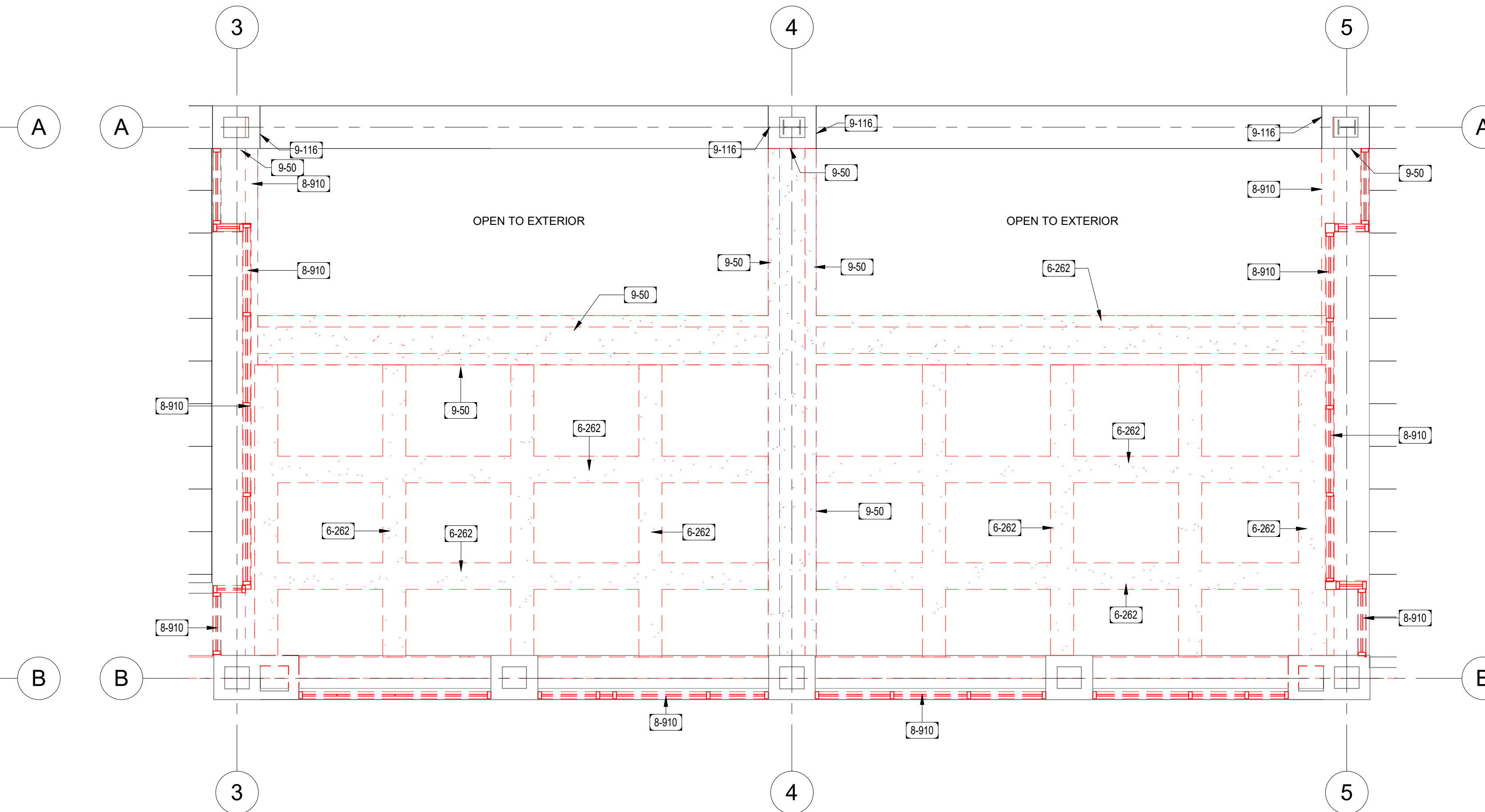
<u>Ceiling Schedule</u>						
Mark	Type	Ceiling Height	Area	Perimeter	Keynote	Ceiling Details
C1	2' x 4' ACT System	10' - 0"	1183 SF	438' - 8"	9-720	6/D100

Lighting Fixture Schedule						
Mark	Number	Description	Count	Manufacturer	Model	Volts
F1	1	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	2	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	3	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	4	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	5	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	6	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	7	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	8	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	9	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	10	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	11	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	12	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	13	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	14	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	15	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	16	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	
F1	17	2x4, 3800 Nominal Delivered Lumens, 4000K, Frosted Acrylic Lens	1	Philips Day-Brite - Philips CFI	2AVEG38L840-4-ACR	

Key Notes	
Key Value	Keynote Text
2-257	EXISTING PLANTER CURB TO BE REMOVED FRAMED OVER
3-70	3/4" THICK GYPSUM UNDERPAYMENT TOPPING (GYPCRETE 2000" BY MAXXON CORP.) PROVIDE AT ALL INTERIOR ROOMS REMOVED THE FLOOR DRAINS, TILE AND MORTAR TO SUBSTRATE BEFORE INSTALLING. USE FOR LEVELING
6-262	6 X 10 RESAWN DECORATIVE BEAM
8-800	STOREFRONT ALUMINUM FRAMING WITH GLAZING AS INDICATED ON WINDOW WALL ELEVATIONS
8-801	STOREFRONT ALUMINUM FRAMING WITH GLAZING AS INDICATED ON WINDOW SCHEDULE
8-910	NEW LOCATION OF EXISTING ALUMINUM STOREFRONT WINDOW AND DOOR. SEE DEMOLITION PLAN FOR EXISTING LOCATION.
8-920	EXISTING ALUMINUM STOREFRONT WINDOW AND DOOR. TO BE REMOVED
9-50	REMOVE EXISTING STUCCO AND REPLACE WITH NEW 5/8" TYPE 'X' GYPSUM BOARD, TAPE, PUTTY AND PAINT TO MATCH EXISTING COLOR & TEXTURE
9-105	60# SUPER JUMBO TEX BY FORTIFIBER OVER (1) LAYER BITUTHENE 4000 AT ALL SLOPING STUCCO APPLICATIONS
9-110	STUCCO SOFFIT (USE HIGH-RIB METAL LATH AT ALL HORIZONTAL APPLICATIONS)
9-116	REMOVE EXISTING STUCCO AS REQUIRED TO INSTALL NEW WORK AS INDICATED. PATCH WITH MATCHING MATERIALS, COLORS AND TEXTURES
9-720	NEW 2' X 4' SUSPENDED METAL T-BAR CEILING SYSTEM WITH 5/8" LAY-IN ACOUSTICAL PANELS SEE DETAILS ON SHEET D100
10-901	



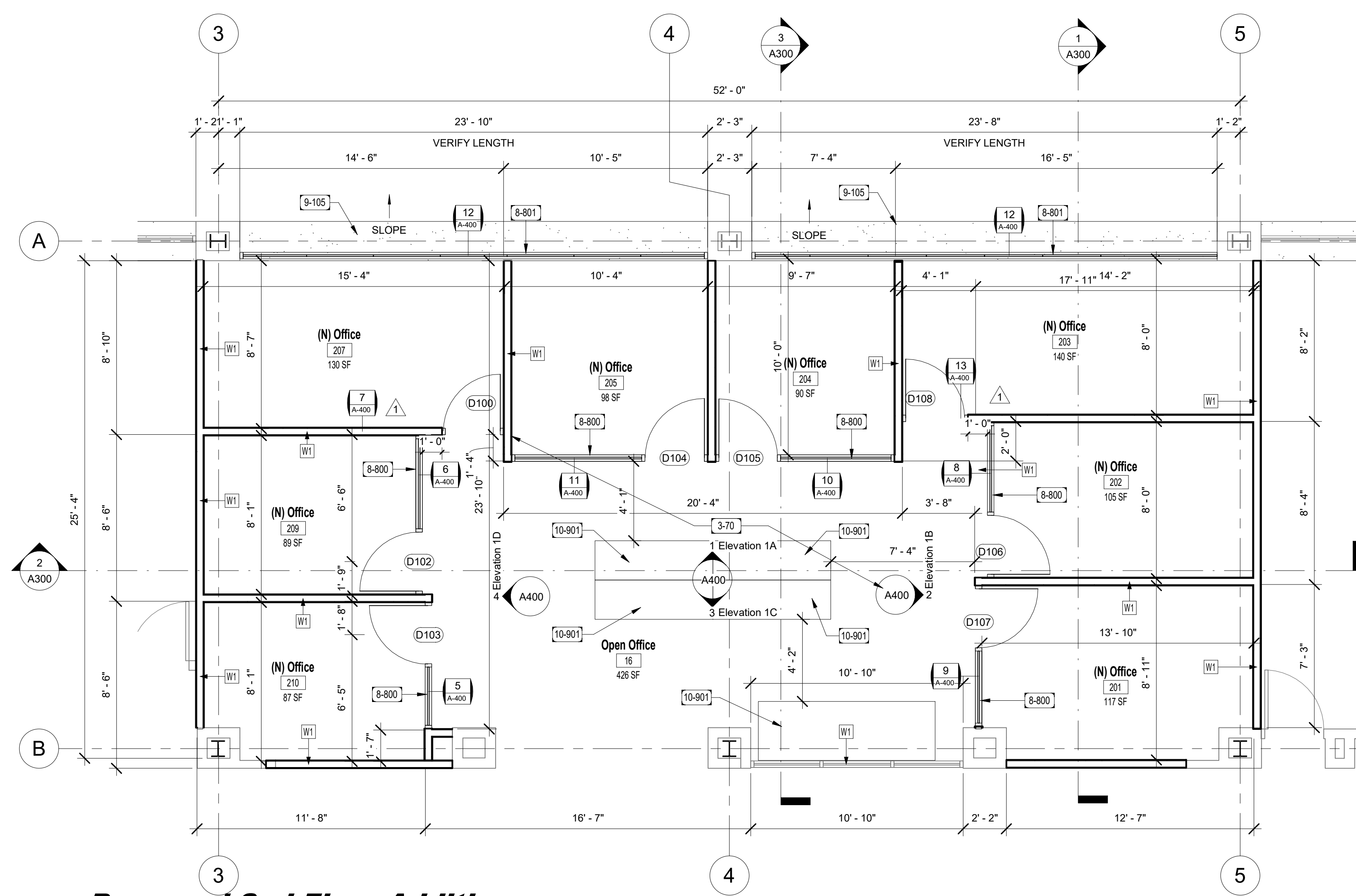
3 **Proposed - 2nd Floor Ceiling**  
1/4" = 1'-0"



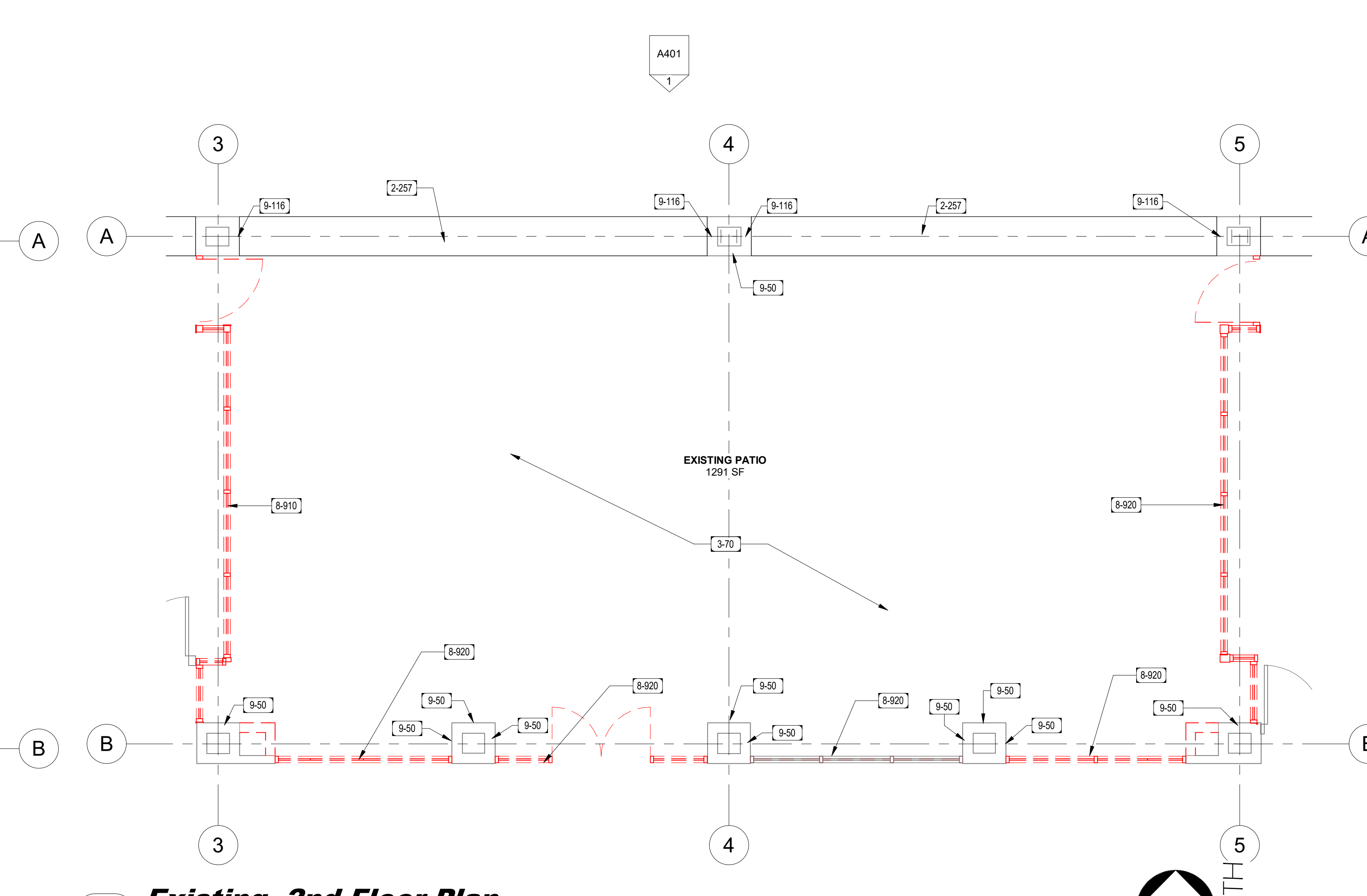
4 **Existing - 2nd Floor Ceiling**  
1/4" = 1'-0"

**Symbols Legend**

- KEY NOTE
- SECTION DETAIL HEAD
- SHEET
- INTERIOR ELEVATION TAG
- ROOM FINISH DIRECTION (SEE ROOM FINISH SCHEDULE)
- VIEW REF. #
- SHEET NUMBER
- DOOR TAG (SEE DOOR SCHEDULE)
- WINDOW TAG (SEE WINDOW SCHEDULE)
- WALL TAG
- EQUIPMENT TAG (SEE FULL EQUIPMENT SCHEDULE SHEET)
- LABEL
- CATEGORY
- (E) or (D) Existing or Demo Tag
- PLUMBING FIXTURE TAG (SEE FULL EQUIPMENT SCHEDULE SHEET)
- LABEL
- CATEGORY
- (E) or (D) Existing or Demo Tag
- LIGHTING FIXTURE TAG (SEE FULL EQUIPMENT SCHEDULE SHEET)
- LABEL
- CATEGORY
- DETAIL KEYNOTE
- CEILING TAG SEE CEILING SCHEDULE
- Room name
- XXXX 101 1000 SF
- FLOOR FINISH MATERIAL
- BASE FINISH
- FLOOR FINISH
- Room name
- 101
- 100 SF
- ROOM TAG



1 **Proposed 2nd Floor Addition**  
1/4" = 1'-0"



2 **Existing 2nd Floor Plan**  
1/4" = 1'-0"

**Office Tenant Improvement**

**Griffith Company**

20-109  
02/09/2021

**3050 E. Birch Street  
Brea, CA 92821**

**A203**

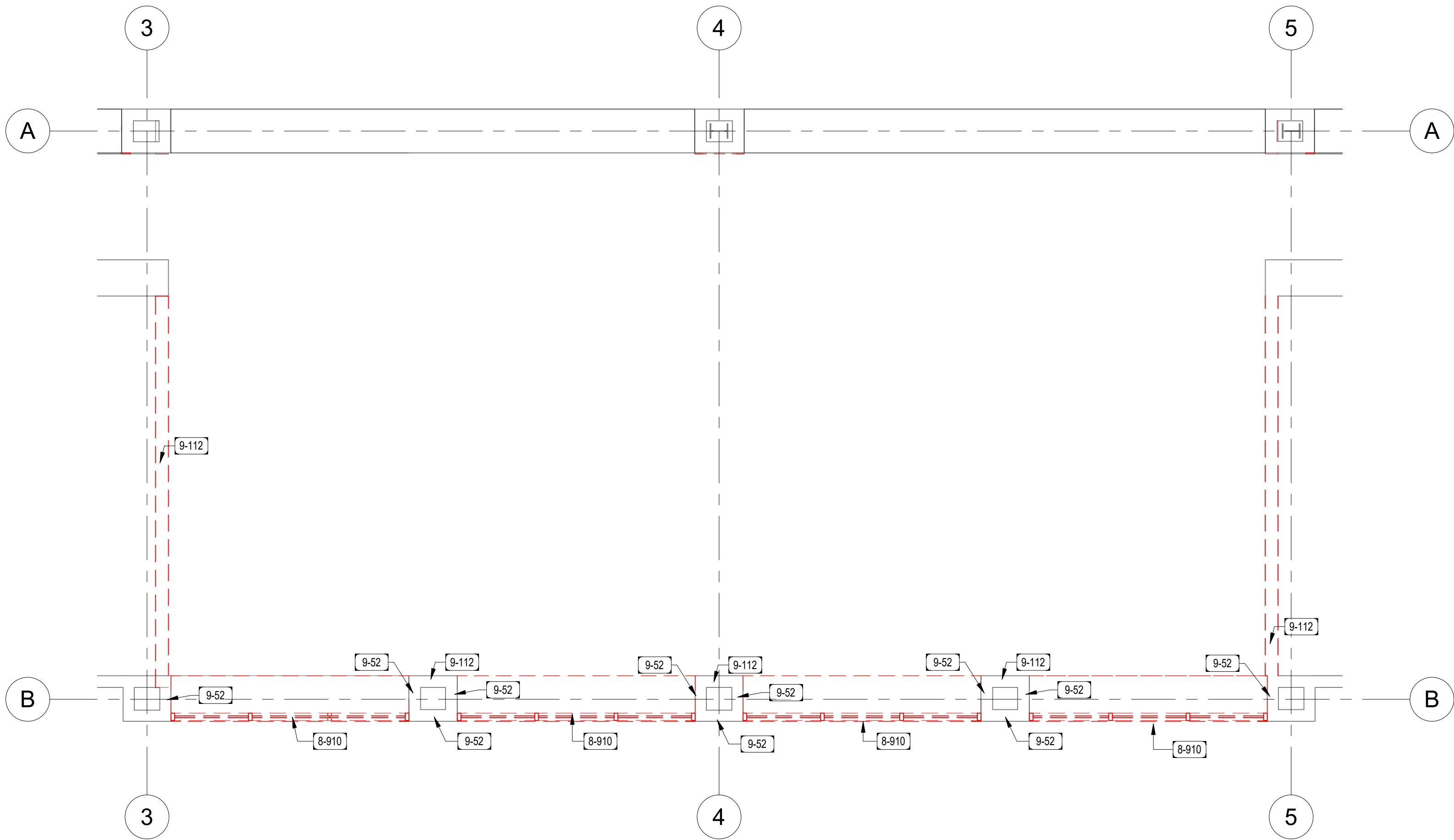
**Floor Plan/ Demo Plan  
& RCP**

Key Notes	
Key Value	Keynote Text
6-13	FILL IN ABOVE THIS WALL WITH 2 X 4 FRAMING AT 16" O/C AND ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD IN THE INTERIOR AND STUCCO EXTERIOR. PROVIDE R-13 FIBERGLASS BATT INSULATION.
8-910	NEW LOCATION OF EXISTING ALUMINUM STOREFRONT WINDOW AND DOOR. SEE DEMOLITION PLAN FOR EXISTING LOCATION.
9-52	REMOVE EXISTING STUCCO ON THIS WALL AND REPLACE WITH NEW 1/2" GYPSUM BOARD. TAPE, PUTTY AND PAINT.
9-112	EXISTING STUCCO SOFFIT IN THIS AREA TO BE REMOVED FOR ROOF DEMOLITION AND REPLACED WHEN ROOF IS REBUILT.
15-790	ROOFTOP UNIT AND CURB NOT A PART OF THIS CONTRACT. (FUTURE PERMIT APPLICATION)

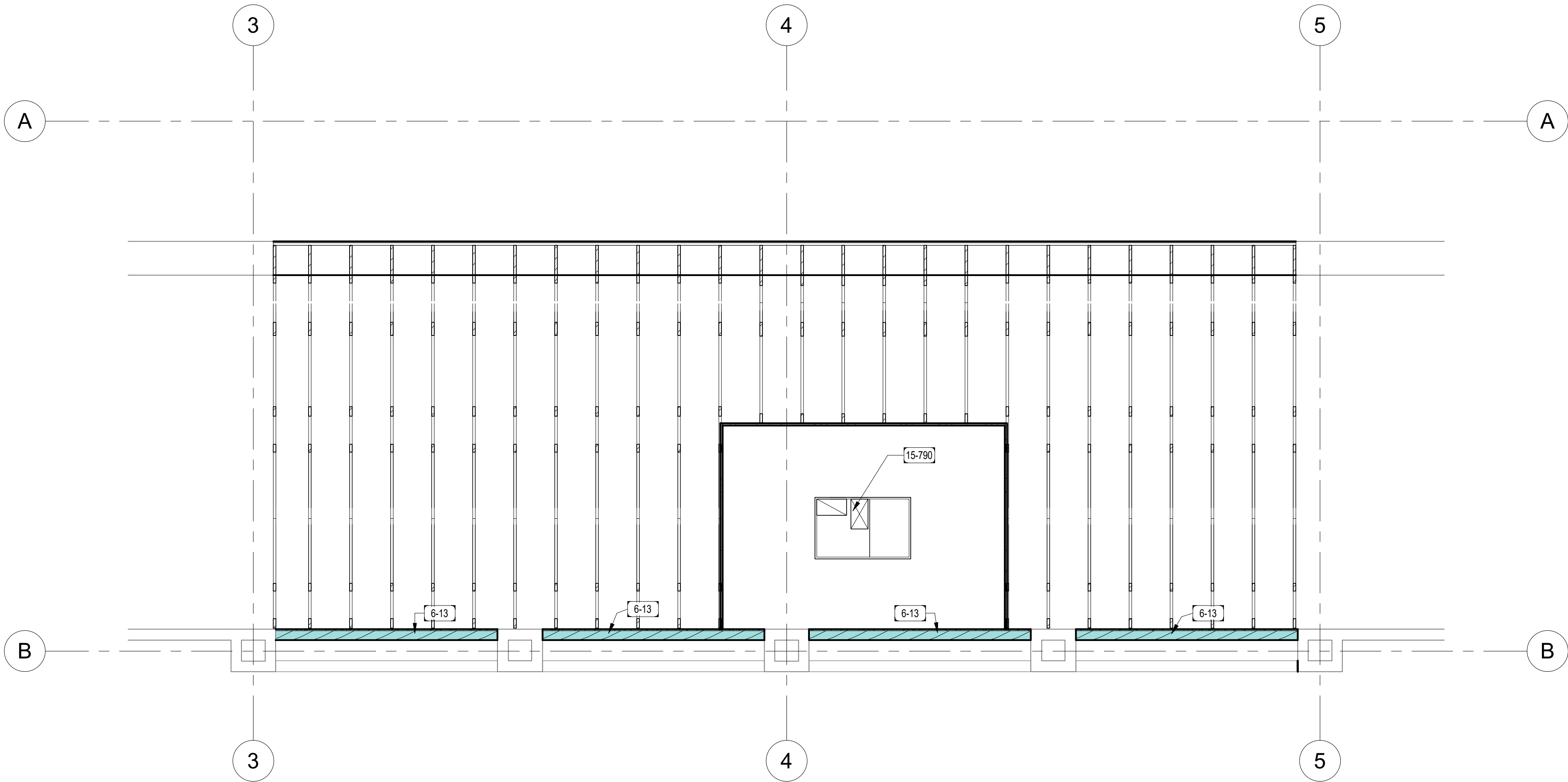


05/04/2021

Revision		
Number	Description	Date



1 **Existing - 2nd Floorr Clerestory**  
1/4" = 1'-0"



2 **Proposed - 2nd Floor Clerestory**  
1/4" = 1'-0"

**Symbols Legend**

- #-###** KEY NOTE
- D-2** SECTION DETAIL HEAD NUMBER SHEET
- INTERIOR ELEVATION TAG** ROOM FINISH DIRECTION (SEE ROOM FINISH SCHEDULE) VIEW REF. # SHEET NUMBER
- 101** DOOR TAG (SEE DOOR SCHEDULE)
- 11** WINDOW TAG (SEE WINDOW SCHEDULE)
- 1** WALL TAG
- X-#** EQUIPMENT TAG (SEE FULL EQUIPMENT SCHEDULE SHEET) LABEL CATEGORY (E) or (D) Existing or Demo Tag
- X-#** PLUMBING FIXTURE TAG (SEE FULL EQUIPMENT SCHEDULE SHEET) LABEL CATEGORY (E) or (D) Existing or Demo Tag
- L-#** LIGHTING FIXTURE TAG (SEE FULL EQUIPMENT SCHEDULE SHEET) LABEL CATEGORY
- 1** DETAIL KEYNOTE
- #-#** CEILING TAG SEE CEILING SCHEDULE
- Room name** **XXX** **101** **YYYY** FLOOR FINISH MATERIAL **150 SF** BASE FINISH FLOOR FINISH
- Room name** **101** ROOM TAG **150 SF**

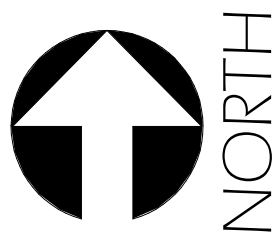
Office Tenant Improvement

Griffith Company

20-109

02/09/2021

3050 E. Birch Street  
Brea, CA 92821



A204

Clerestory



Key Notes	
Key Value	Keynote Text
6-262	6 X 10 RESAWN DECORATIVE BEAM
6-672	2 X 4 CRICKET FRAMING AT 24" O/C WITH TYPICAL ROOF SHEATHING ABOVE.
7-40	3-PLY HOT-MOPPED ROOFING WITH MINERAL CAP SHEET AND 10-YEAR BONDED WARRANTY (SLOPE 1/4" PER FOOT MINIMUM). (JOHNS MANVILLE SPEC NO. 30IS WITH U.L. CLASS A LABEL, OR ARCHITECT ACCEPTED SUBSTITUTE)
7-274	NEW CONCRETE INTERLOCKING ROOF TILE TO MATCH EXISTING. S-SHAPED EXTRUDED CONCRETE INTERLOCKING ROOF REGULAR WEIGHT MONIER - MISSION S WITH 1/4" MAXIMUM EXPOSURE. 950 LBS. PER SQUARE. APPLY WITH 11 GAUGE GALVANIZED NAILS 3/4" MINIMUM INTO BATTENS OR THROUGH THE ROOF SHEATHING (BLEND ROOF TILE) OVER ONE LAYER 30 LB. ASPHALT SATURATED FELT. PROVIDE BATTENS ON ALL SLOPES FOR TILE WITH LUGS AND HURRICANE CLIPS AT ALL EAVE TILES. CLASS A ROOF TO BE INSTALLED IN ACCORDANCE WITH LAPMO - ER-2015
7-400	CONTINUOUS 24 GAUGE ROOF/WALL FLASHING (TYPICAL). ROOF FLASHING MATERIALS AND INSTALLATION MUST COMPLY WITH THE PROVISIONS OF UBC SECTIONS 1508 & 1509.
15-39	ROOF DRAIN AND OVERFLOW DRAIN WITH A 3" ROOF DRAIN LINE TO 1" ABOVE FLOOR SLAB. OVER FLOW DRAIN TO BE 2" ABOVE ROOF DRAIN. (SEE ROOF DRAIN PLAN)
15-790	ROOFTOP UNIT AND CURB NOT A PART OF THIS CONTRACT. (FUTURE PERMIT APPLICATION)

WS

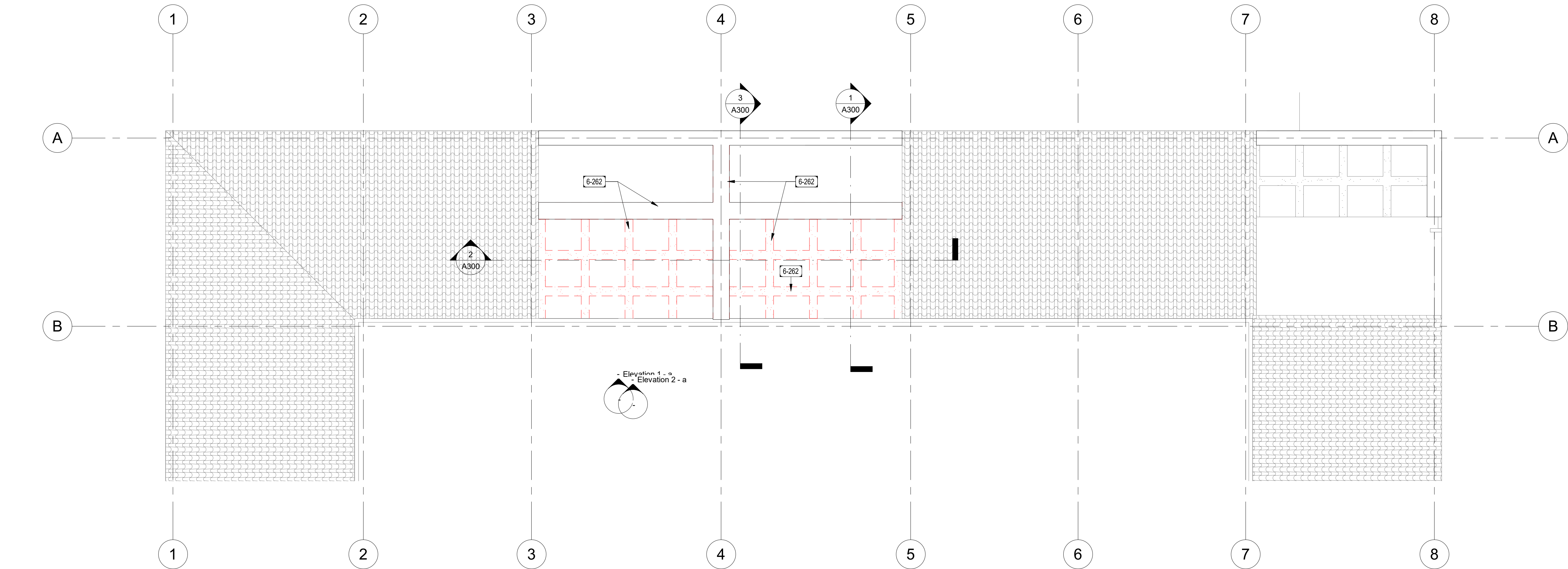
DESIGNS

2501 E. Guasti Rd  
Suite 201,  
Ontario, CA 91761  
(909)262-9766  
www.wcsdesign.com

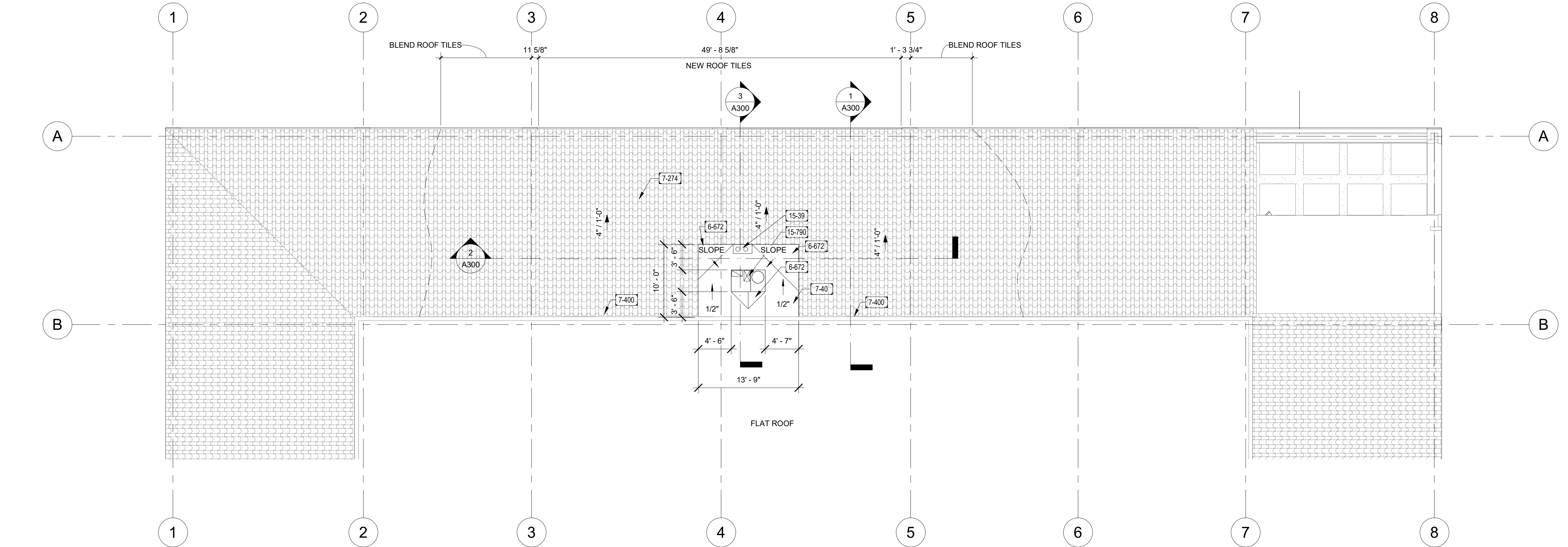
PROFESSIONAL ARCHITECT  
STATE OF CALIFORNIA  
C-34207  
06-30-2022  
REVISED  
DATE

05/04/2021

Revision	Description	Date
Number		



1 **Roof Plan - Existing**  
1/8" = 1'-0"



2 **Roof Plan - New**  
1/8" = 1'-0"

**Symbols Legend**

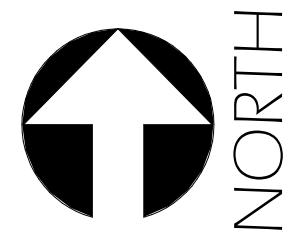
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  - SECTION DETAIL HEAD NUMBER**
    - SHEET**
  - INTERIOR ELEVATION TAG** (SEE ROOM FINISH SCHEDULE)
    - VIEW REF. #**
    - SHEET NUMBER**
  - DOOR TAG** (SEE DOOR SCHEDULE)
    - WINDOW TAG** (SEE WINDOW SCHEDULE)
  - WALL TAG**
    - EQUIPMENT TAG** (SEE FULL EQUIPMENT SCHEDULE SHEET)
      - LABEL**
      - CATEGORY**
      - (E) or (D) Existing or Demo Tag**
  - PLUMBING FIXTURE TAG** (SEE FULL EQUIPMENT SCHEDULE SHEET)
    - LABEL**
    - CATEGORY**
    - (E) or (D) Existing or Demo Tag**
  - LIGHTING FIXTURE TAG** (SEE FULL EQUIPMENT SCHEDULE SHEET)
    - LABEL**
    - CATEGORY**
    - DETAIL KEYNOTE**
  - CEILING TAG** SEE CEILING SCHEDULE
- Room name**
  - FLOOR FINISH MATERIAL**
    - BASE FINISH**
    - FLOOR FINISH**
- Room name**
  - ROOM TAG**
    - ROOM TAG**

Office Tenant Improvement

Griffith Company

20-109  
02/09/2021

3050 E. Birch Street  
Brea, CA 92821



A205

Roof Plan

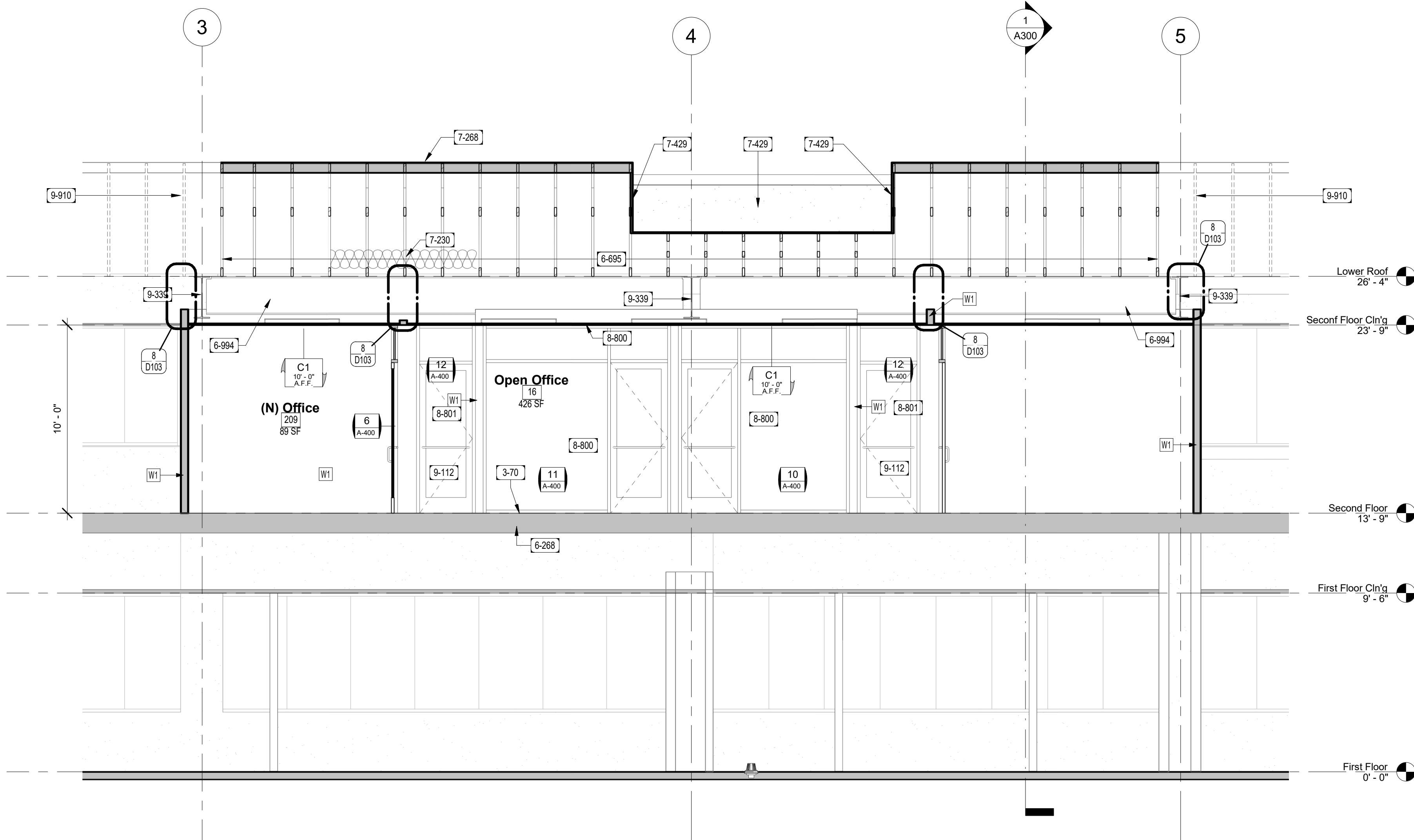




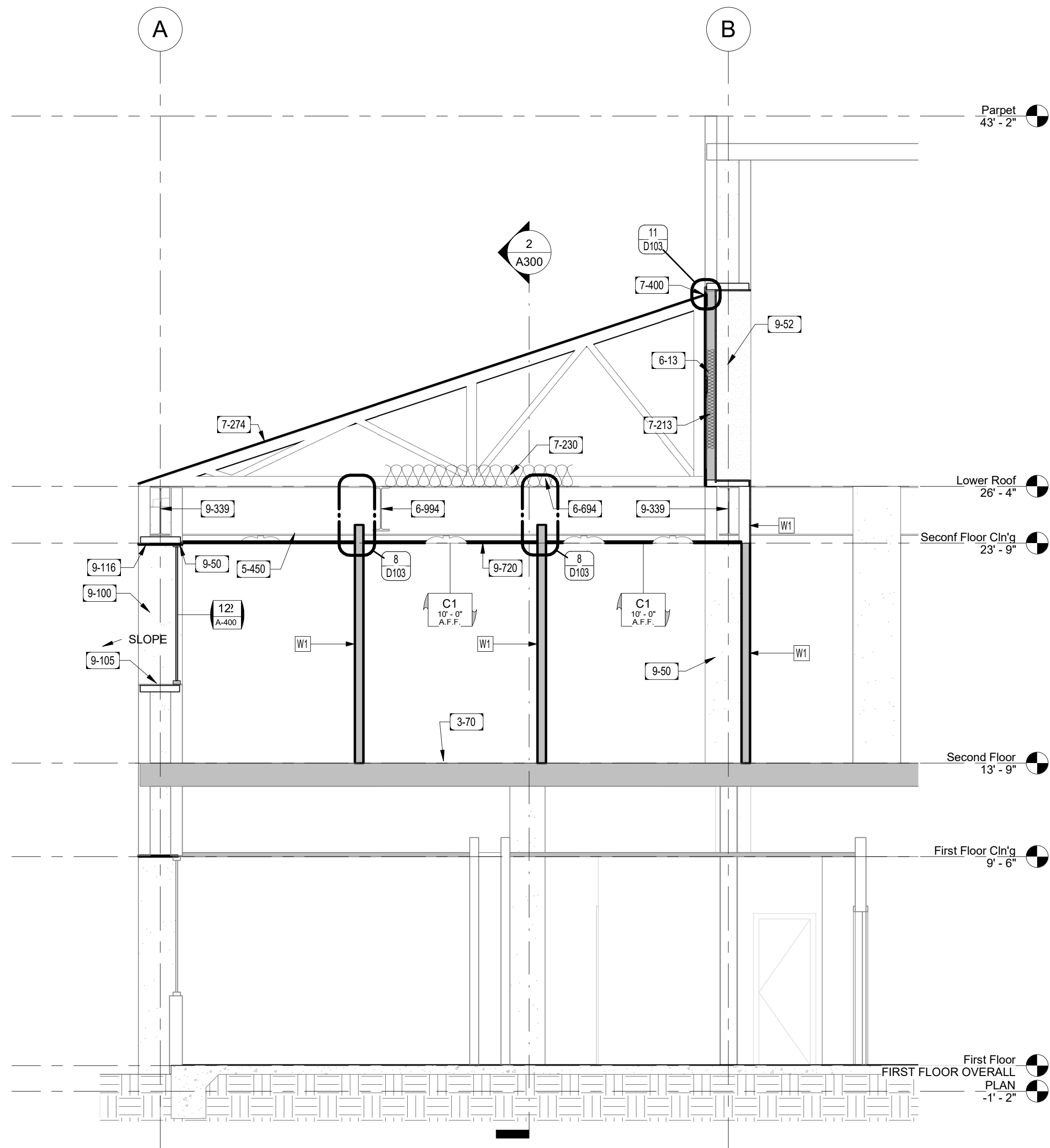
05/04/2021

Number	Revision	Description	Date

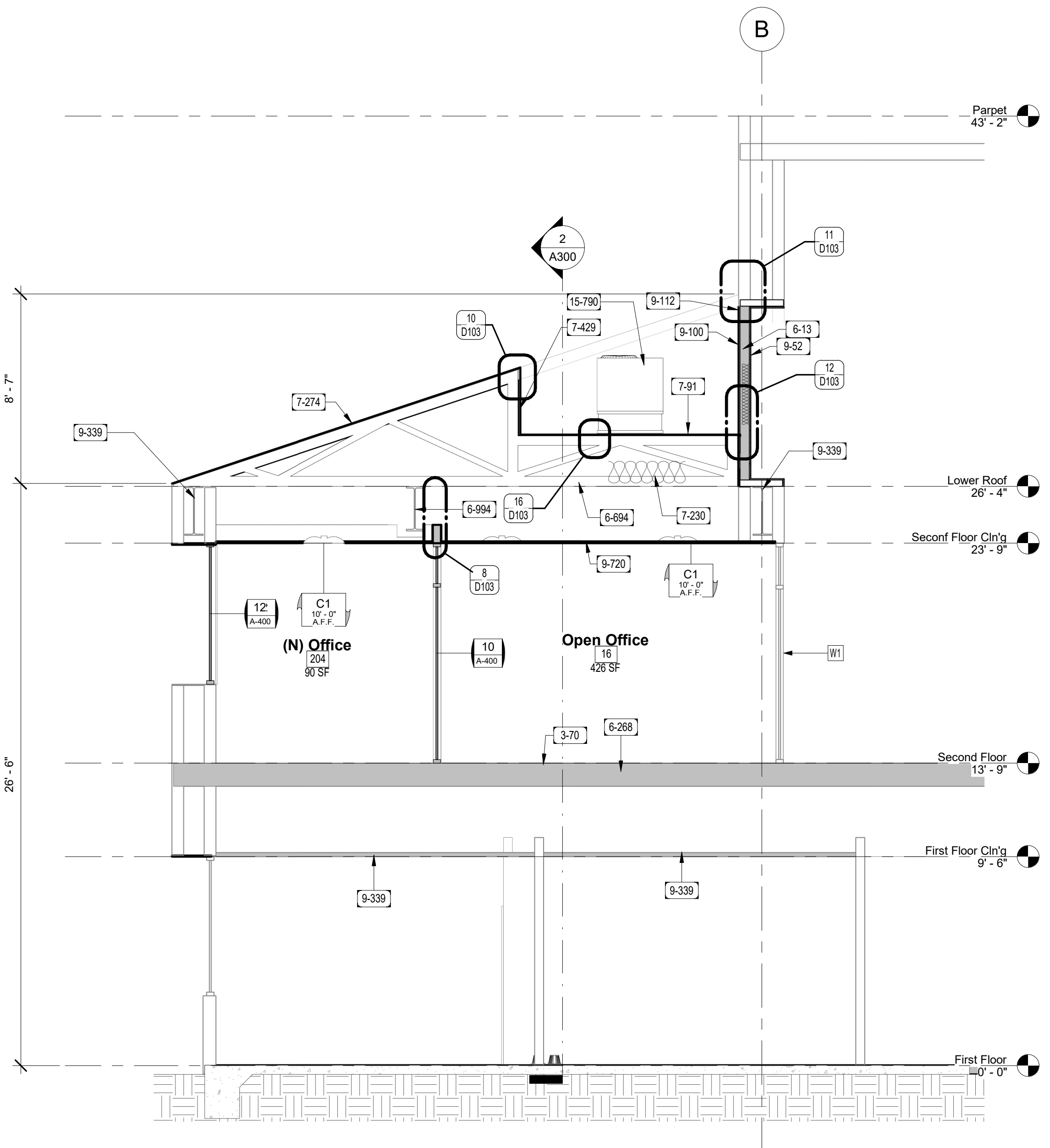
Key Value	Keynote Text
3-70	3/4" THICK GYPSUM UNDERPAYMENT TOPPING (GYP-CRETE 2000" BY MAXXON CORP.) PROVIDE AT ALL INTERIOR ROOMS REMOVED THE FLOOR DRAINS, TILE AND MORTAR TO SUBSTRATE BEFORE INSTALLING. USE FOR LEVELING
5-450	EXISTING STEEL BEAM TO REMAIN
6-13	FILL IN ABOVE THIS WALL WITH 2 X 4 FRAMING AT 16" O/C AND ONE LAYER 5/8" TYPE "X" GYPSUM BOARD IN THE INTERIOR AND STUCCO EXTERIOR. PROVIDE R-13 FIBERGLASS BATT INSULATION.
6-268	EXISTING FLOOR JOISTS TO REMAIN
6-694	FLAT BOTTOM ENGINEERED FLOOR TRUSSES AT 24" O/C (SEE PLAN FOR DOT TO INDICATE THIRD BEARING POINT)
6-695	FLAT BOTTOM ENGINEERED ROOF TRUSSES AT 24" O/C "
6-694	EXISTING 4 X 6 FLUSH BEAM TO REMAIN
7-91	NEW BUILT-UP ROOFING ON 12" PLYWOOD CRICKET. REMOVE EXISTING ROOFING AND FELT AS REQUIRED TO FEATHER IN NEW ROOFING AND FELT TO FORM A WEATHERTIGHT SEAL
7-213	R-13 FIBERGLASS BATT INSULATION TYPICAL AT ALL EXTERIOR WALLS
7-230	R-30 FIBERGLASS BATT INSULATION
7-268	REMOVE EXISTING COMPOSITION SHINGLE ROOFING AS REQUIRED TO INSTALL NEW EXTRUDED CONCRETE INTERLOCKING REGULAR WEIGHT PIONEER SHAKE TILE WITH 14" MAXIMUM EXPOSURE, 950 LBS. PER SQUARE. APPLY WITH 11 GAUGE GALVANIZED NAILS THROUGH THE ROOF SHEATHING (OSB 4600) OVER ONE LAYER 30 LB. ASPHALT SATURATED FELT. PROVIDE HURRICANE CLIPS AT ALL EAVE TILES. CLASS A ROOF TO BE INSTALLED IN ACCORDANCE WITH UBC SEC. 1504.
7-274	NEW CONCRETE INTERLOCKING ROOF TILE TO MATCH EXISTING S-SHAPED EXTRUDED CONCRETE INTERLOCKING ROOF REGULAR WEIGHT MONIER - MISSION S WITH 14" MAXIMUM EXPOSURE, 950 LBS. PER SQUARE. APPLY WITH 11 GAUGE GALVANIZED NAILS 3/4" MINIMUM INTO BATTENS OR THROUGH THE ROOF SHEATHING (BLEND ROOF TILE) OVER ONE LAYER 30 LB. ASPHALT SATURATED FELT. PROVIDE BATTENS ON ALL SLOPES FOR TILE WITH LUGS AND HURRICANE CLIPS AT ALL EAVE TILES. CLASS A ROOF TO BE INSTALLED IN ACCORDANCE WITH LAPMO - ER-2015
7-400	CONTINUOUS 24 GAUGE ROOF/WALL FLASHING (TYPICAL). ROOF FLASHING MATERIALS AND INSTALLATION MUST COMPLY WITH THE PROVISIONS OF UBC SECTIONS 1508 & 1509.
7-429	PROVIDE STUCCO OVER ALL POSTS AND BEAMS EXPOSED TO WEATHER WITH 24 GAUGE GALVANIZED SHEET METAL CAP FLASHING AT TOP OF ALL BEAMS. (PAINT)
8-800	STOREFRONT ALUMINUM FRAMING WITH GLAZING AS INDICATED ON WINDOW WALL ELEVATIONS
8-801	STOREFRONT ALUMINUM FRAMING WITH GLAZING AS INDICATED ON WINDOW SCHEDULE
9-50	REMOVE EXISTING STUCCO AND REPLACE WITH NEW 5/8" TYPE "X" GYPSUM BOARD. TAPE, PUTTY AND PAINT TO MATCH EXISTING COLOR & TEXTURE
9-52	REMOVE EXISTING STUCCO ON THIS WALL AND REPLACE WITH NEW 1/2" GYPSUM BOARD. TAPE, PUTTY AND PAINT
9-100	7/8" EXTERIOR CEMENT PLASTER WITH PAPER-BACKED WOVEN WIRE FABRIC LATH (3 COATS MINIMUM). PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL PLYWOOD SHEAR PANEL (USE HIGH RIB LATH AT HORIZONTAL APPLICATIONS)
9-105	60# SUPER JUMBO TEX BY FORTIFIBER OVER (1) LAYER BITUTHENE 4000 AT ALL SLOPING STUCCO APPLICATIONS
9-112	EXISTING STUCCO SOFFIT IN THIS AREA TO BE REMOVED FOR ROOF DEMOLITION AND REPLACED WHEN ROOF IS RESULT
9-116	REMOVE EXISTING STUCCO AS REQUIRED TO INSTALL NEW WORK AS INDICATED. PATCH WITH MATCHING MATERIALS, COLORS AND TEXTURES
9-339	EXISTING CEILING TO BE REMOVED
9-720	NEW 2 X 4 SUSPENDED METAL T-BAR CEILING SYSTEM WITH 5/8" LAY-IN ACOUSTICAL PANELS SEE DETAILS ON SHEET D100
9-910	6" HIGH COVED SHEET VINYL BASE WITH METAL TRIM CAP
15-790	ROOFTOP UNIT AND CURB NOT A PART OF THIS CONTRACT. (FUTURE PERMIT APPLICATION)



2 **Section 2**  
1/4" = 1'-0"



1 **Section 1**  
1/4" = 1'-0"



3 **Section 3**  
1/4" = 1'-0"

Office Tenant Improvement

Griffith Company

20-109

02/09/2021

3050 E. Birch Street  
Brea, CA 92821

A300

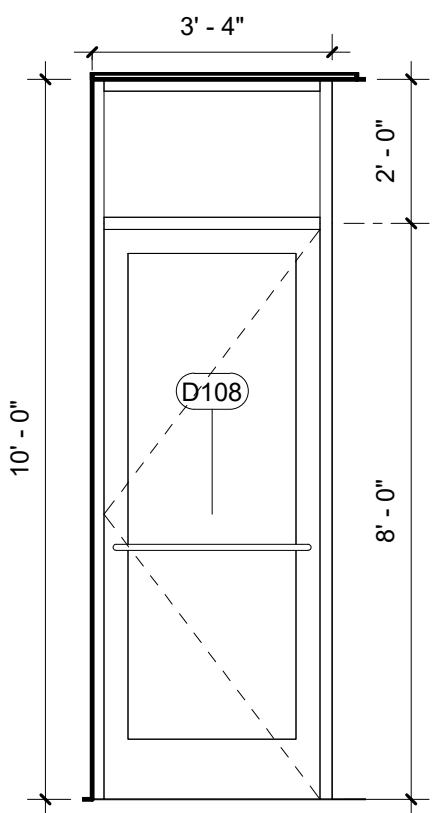
Sections



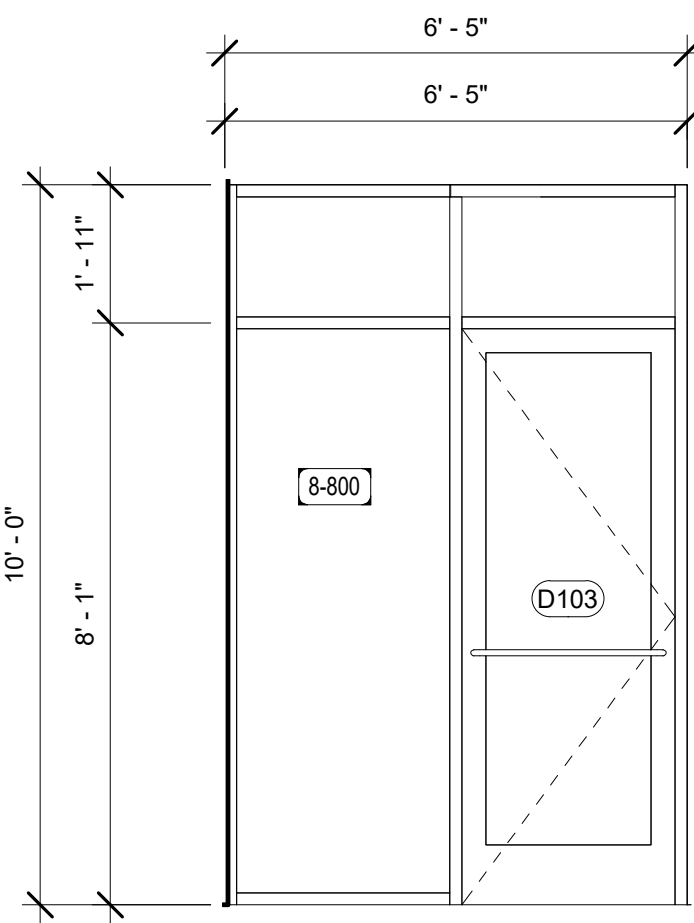
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Number	Revision	Description	Date

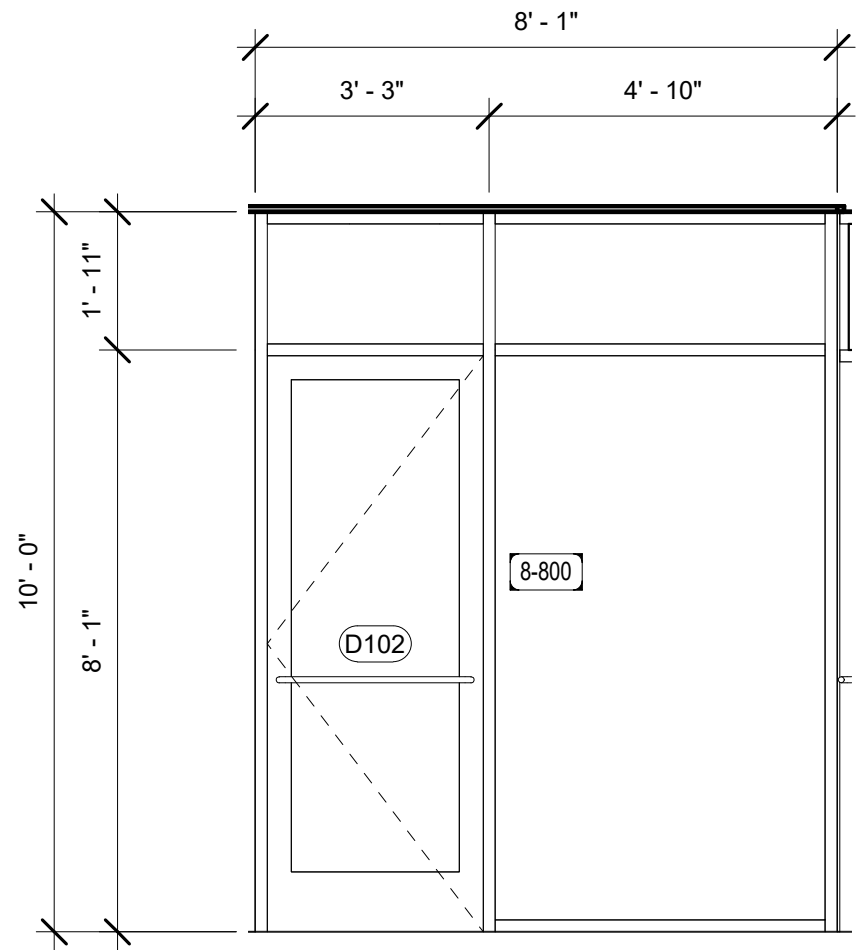
Key Value	Keynote Text
5-965	3 5/8" STUD WALL @ 24" O/C WITH 5/8" GYPSUM BOARD
8-800	STOREFRONT ALUMINUM FRAMING WITH GLAZING AS INDICATED ON WINDOW WALL ELEVATIONS
8-801	STOREFRONT ALUMINUM FRAMING WITH GLAZING AS INDICATED ON WINDOW SCHEDULE
9-112	EXISTING STUCCO SOFFIT IN THIS AREA TO BE REMOVED FOR ROOF DEMOLITION AND REPLACED WHEN ROOF IS REBUILT
9-115	EXISTING CORNER OF BUILDING TO BE BLENDED WITH NEW WALL TO ALIGN (DASHED)



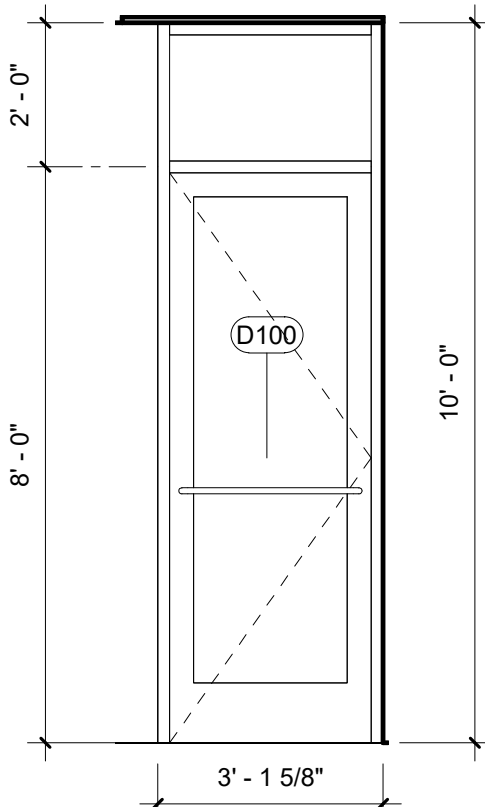
13 **Int.Glass Wall #13**  
3/8" = 1'-0"



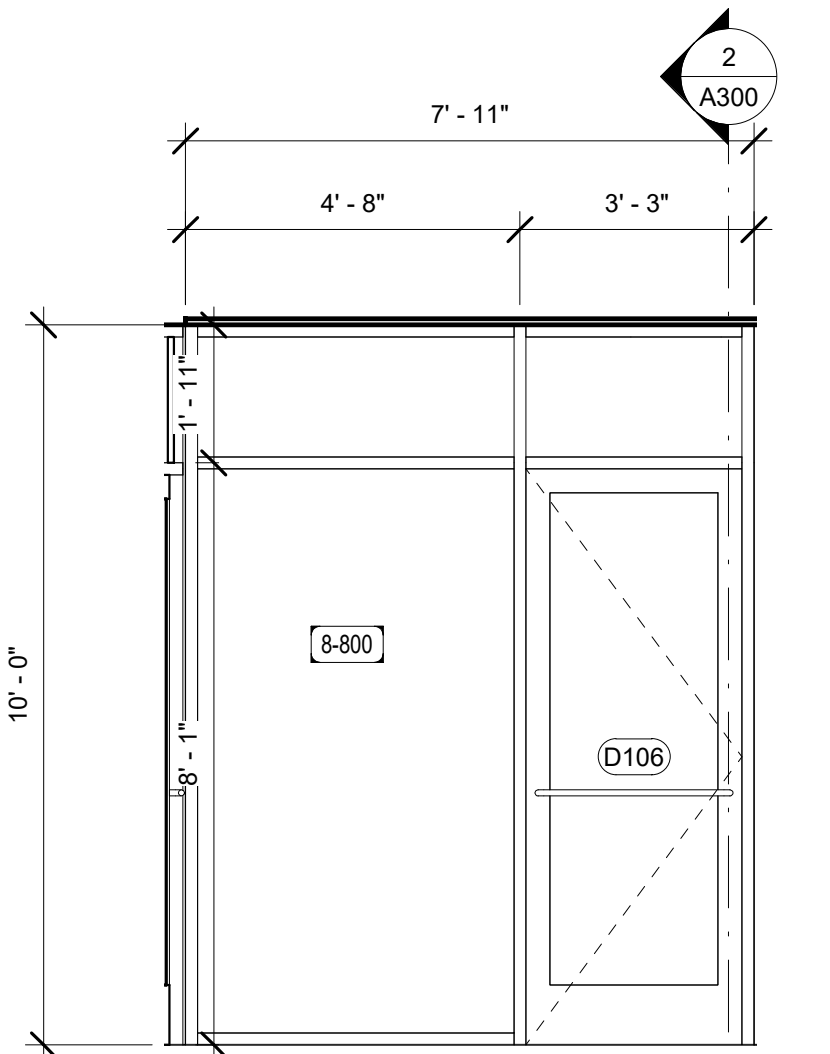
5 **Int.Glass Wall #5**  
3/8" = 1'-0"



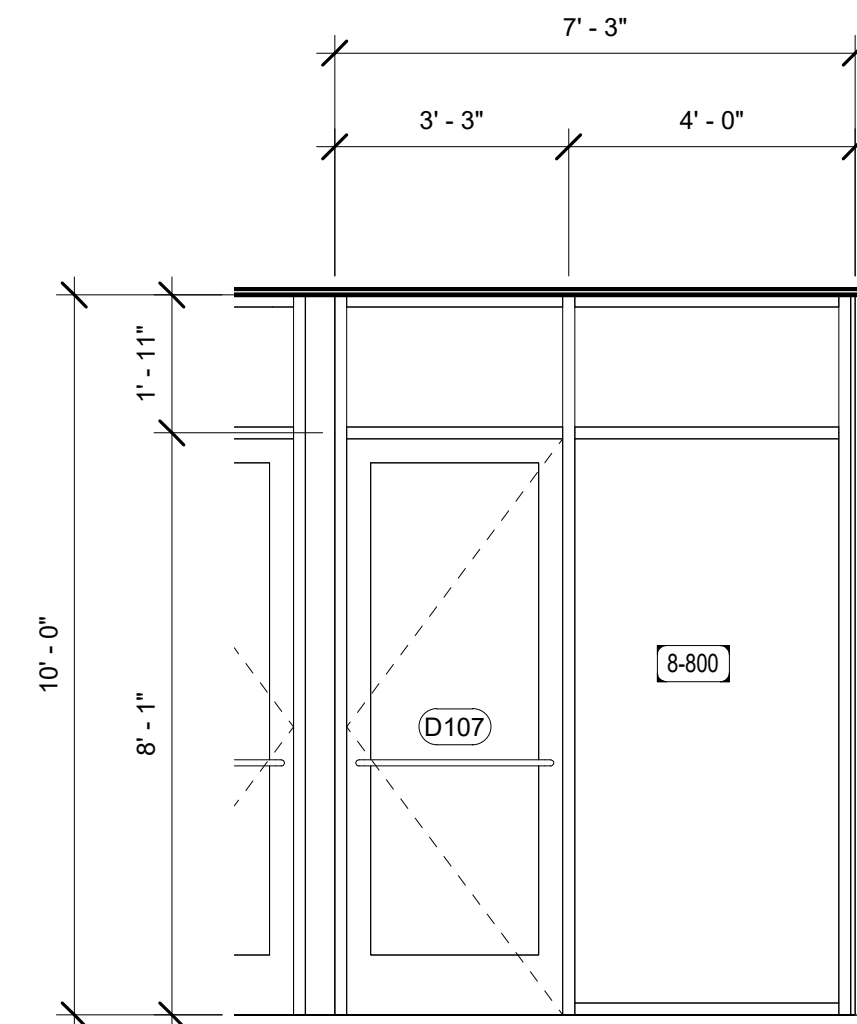
6 **Int.Glass Wall #6**  
3/8" = 1'-0"



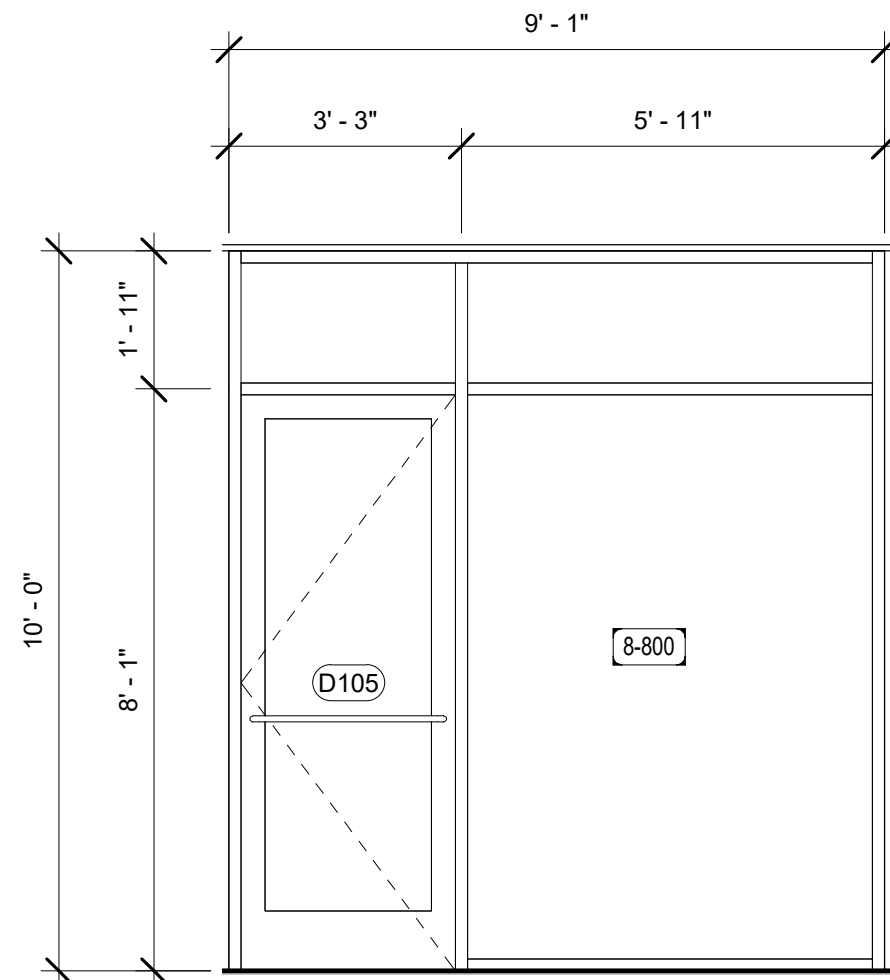
7 **Int.Glass Wall #7**  
3/8" = 1'-0"



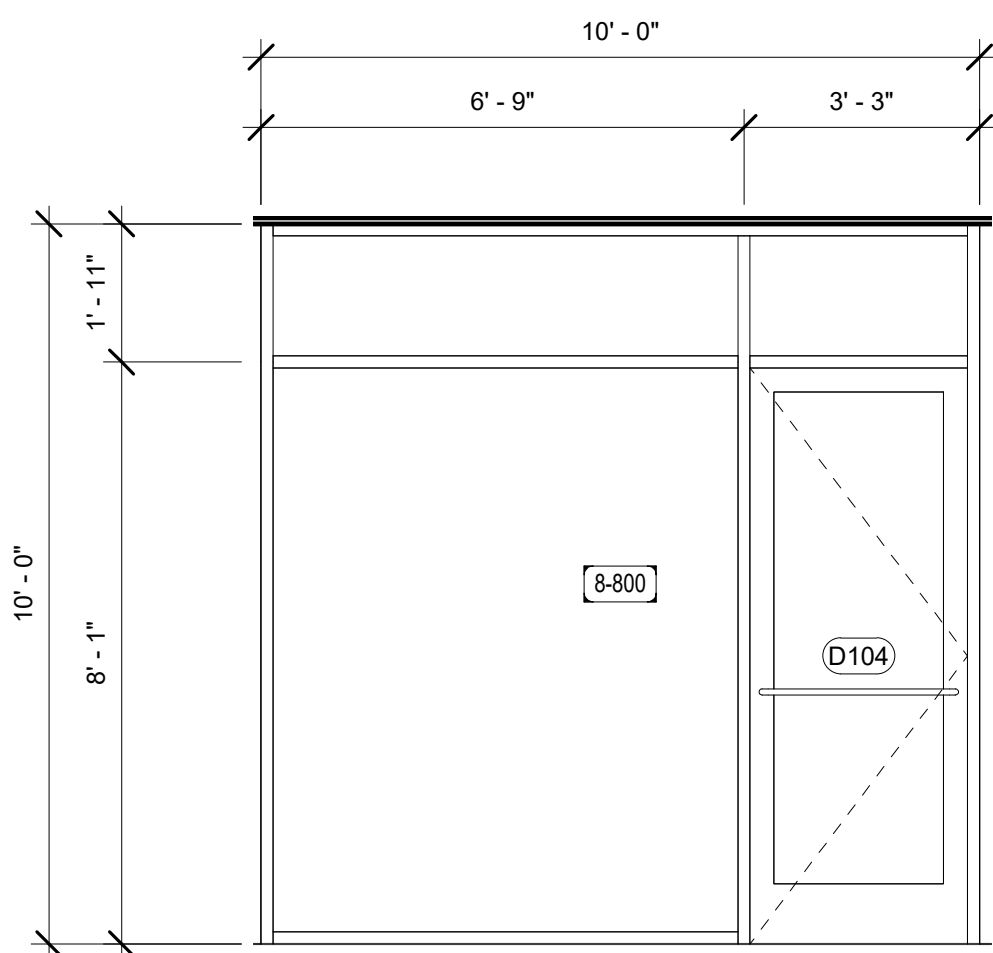
8 **Int.Glass Wall #8**  
3/8" = 1'-0"



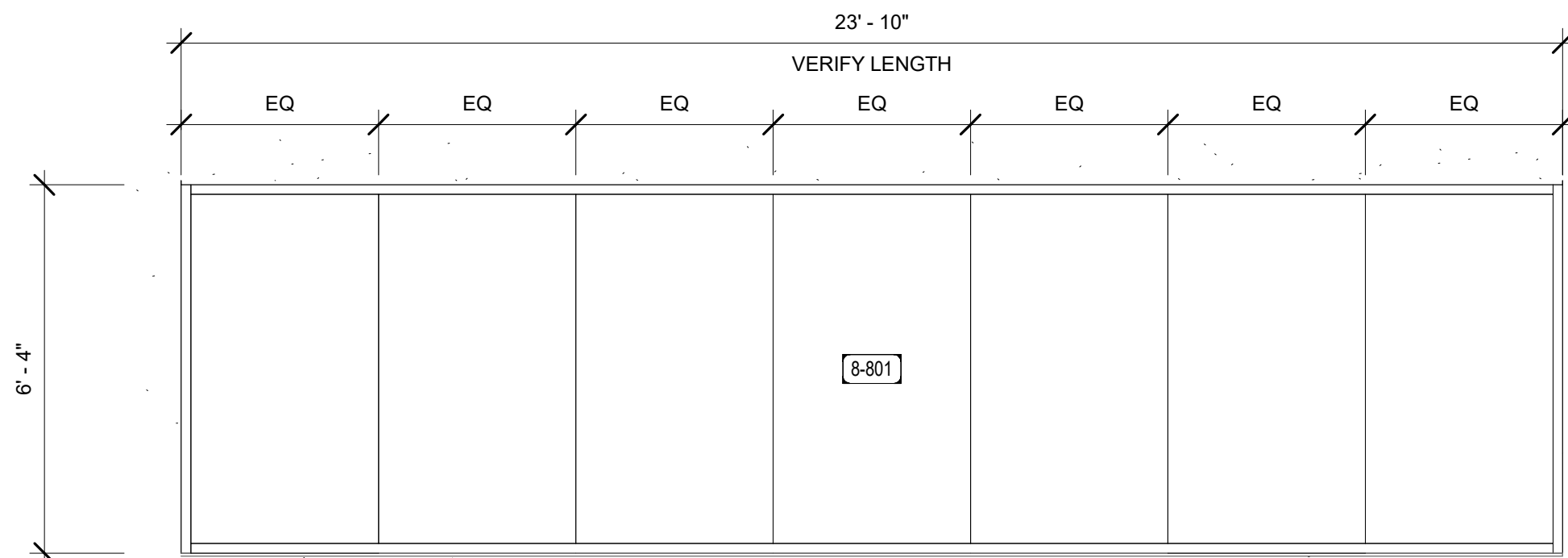
9 **Int.Glass Wall #9**  
3/8" = 1'-0"



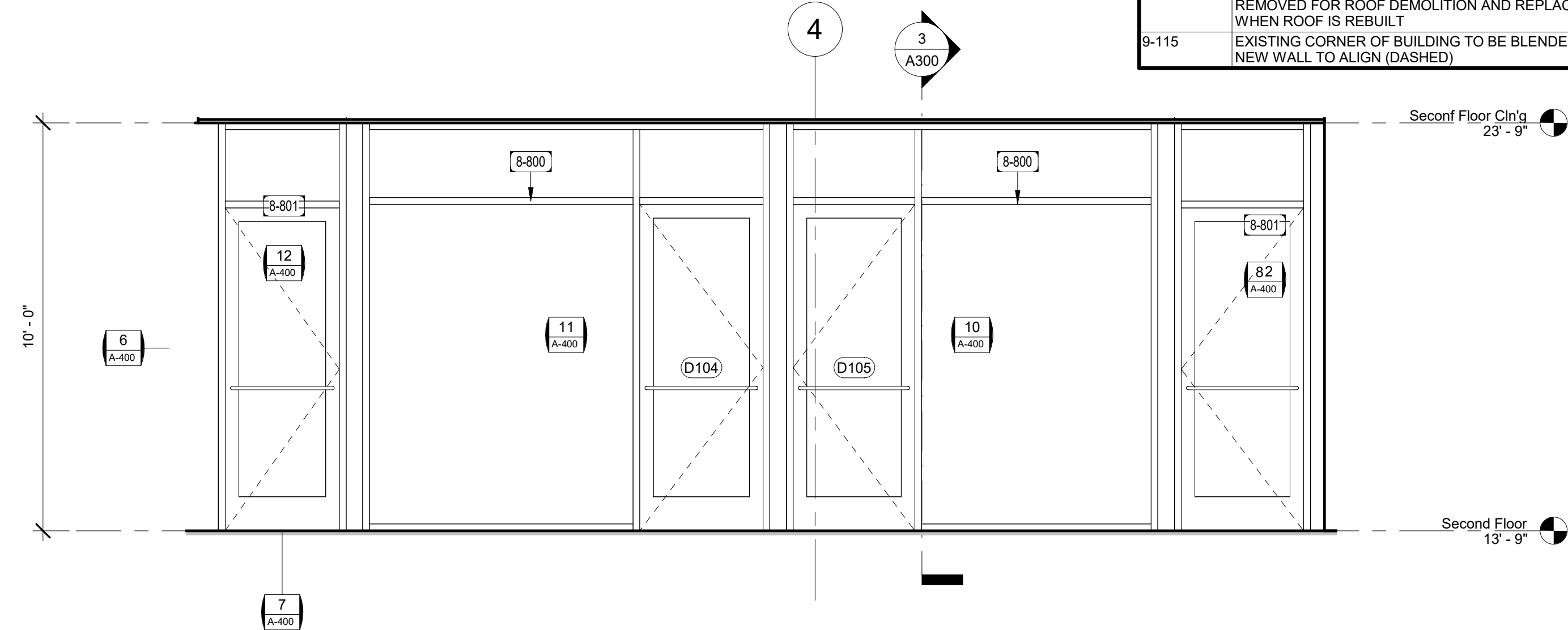
10 **Int.Glass Wall #10**  
3/8" = 1'-0"



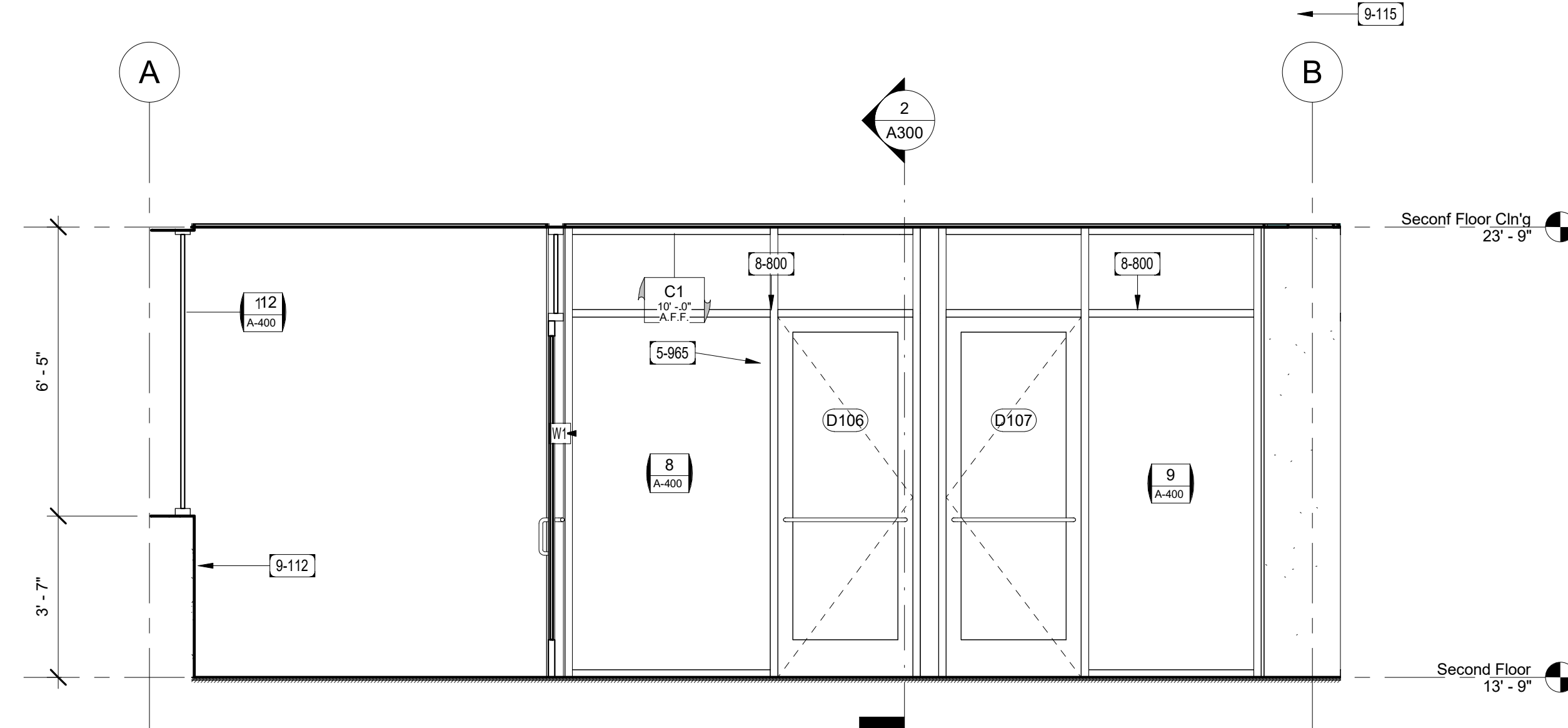
11 **Int.Glass Wall #11**  
3/8" = 1'-0"



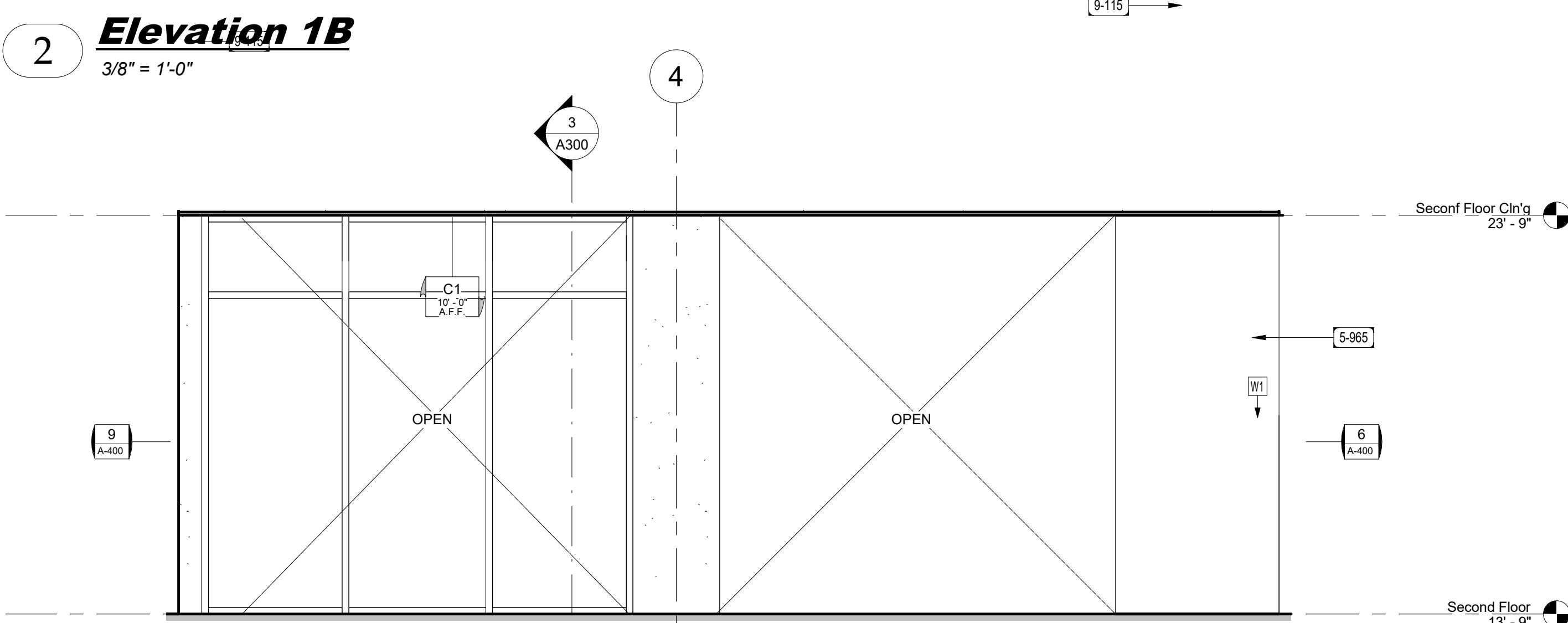
12 **Exterior Storefront #12**  
3/8" = 1'-0"



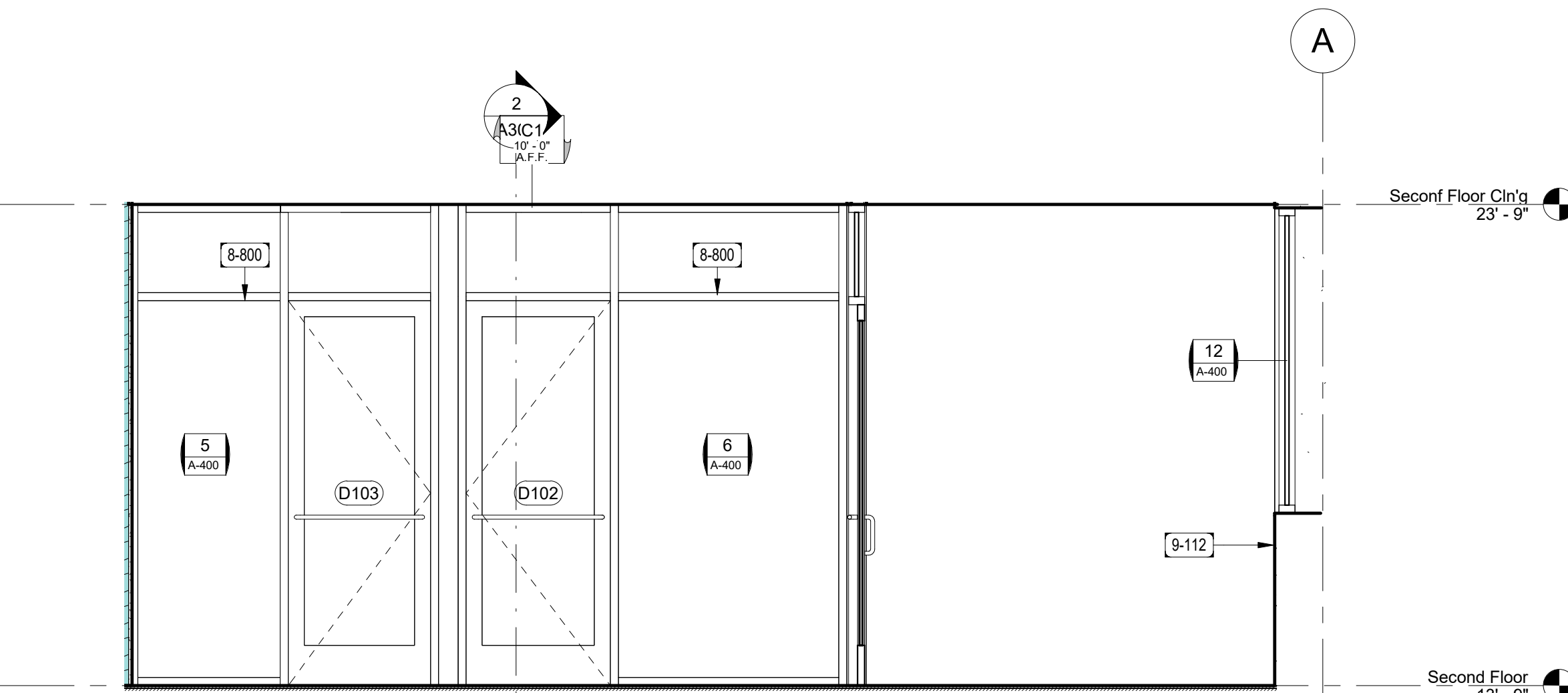
1 **Elevation 1A**  
3/8" = 1'-0"



2 **Elevation 1B**  
3/8" = 1'-0"



3 **Elevation 1C**  
3/8" = 1'-0"



4 **Elevation 1D**  
3/8" = 1'-0"

Office Tenant Improvement

Griffith Company

20-109

02/09/2021

3050 E. Birch Street  
Brea, CA 92821

A400

Interior Elevation

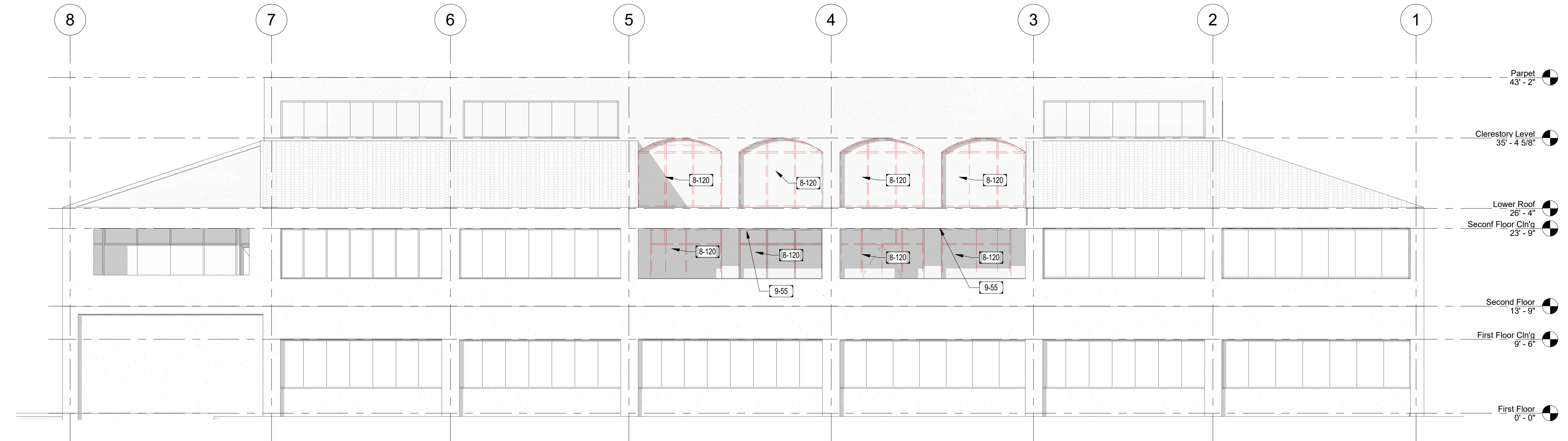




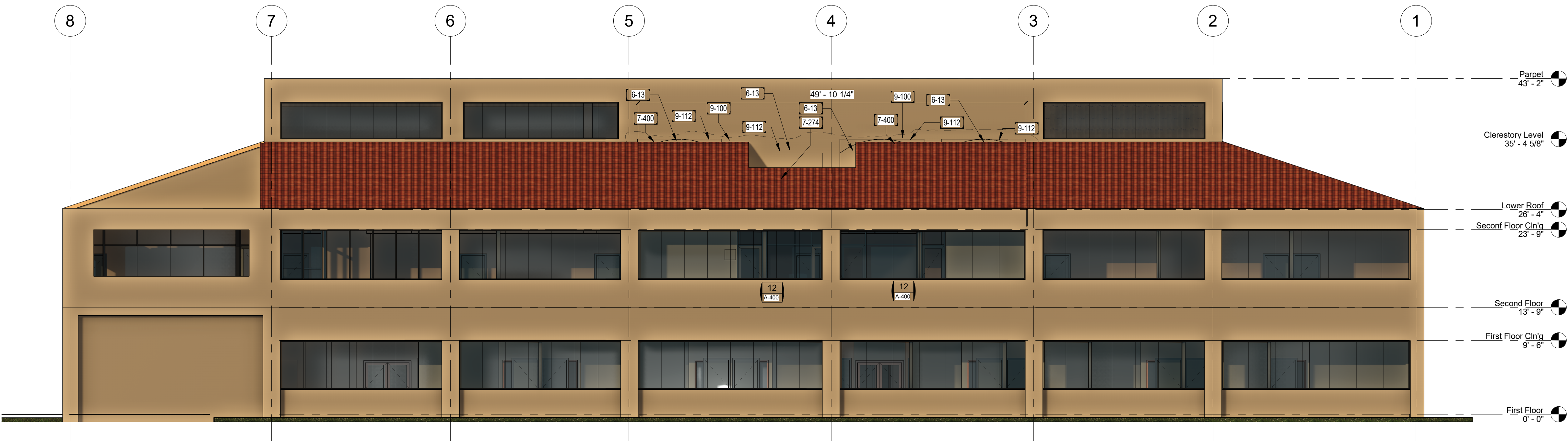
05/04/2021

Revision	
Number	Description

Key Value	Keynote Text
6-13	FILL IN ABOVE THIS WALL WITH 2 X 4 FRAMING AT 16" O/C AND ONE LAYER 5/8" TYPE "X" GYPSUM BOARD IN THE INTERIOR AND STUCCO EXTERIOR. PROVIDE R-13 FIBERGLASS BATT INSULATION.
7-274	NEW CONCRETE INTERLOCKING ROOF TILE TO MATCH EXISTING. S-SHAPED EXTRUDED CONCRETE INTERLOCKING ROOF REGULAR WEIGHT MONIER - MISSION S WITH 14" MAXIMUM EXPOSURE. 950 LBS. PER SQUARE. APPLY WITH 11 GAUGE GALVANIZED NAILS 3/4" MINIMUM INTO BATTENS OR THROUGH THE ROOF SHEATHING (BLEND ROOF TILE) OVER ONE LAYER 30 LB. ASPHALT SATURATED FELT. PROVIDE BATTENS ON ALL SLOPES FOR TILE WITH LUGS AND HURRICANE CLIPS AT ALL EAVE TILES. CLASS A ROOF TO BE INSTALLED IN ACCORDANCE WITH LAPMO - ER-2015
7-400	CONTINUOUS 24 GAUGE ROOF/WALL FLASHING (TYPICAL). ROOF FLASHING MATERIALS AND INSTALLATION MUST COMPLY WITH THE PROVISIONS OF USC SECTIONS 1508 & 1509.
8-120	REMOVE EXISTING WINDOW AS REQUIRED TO INSTALL NEW WALL FRAMING AS SHOWN PATCH TO MATCH EXISTING MATERIALS
9-55	REMOVE EXISTING STUCCO AS REQUIRED TO INSTALL NEW FRAMING. REPLACE WITH NEW 7/8" EXTERIOR CEMENT PLASTER WITH EXPANDED METAL LATH OVER BUILDING PAPER TO MATCH EXISTING COLOR AND TEXTURE.
9-100	7/8" EXTERIOR CEMENT PLASTER WITH PAPER-BACKED WOVEN WIRE FABRIC LATH (3 COATS MINIMUM). PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL PLYWOOD SHEAR PANEL (USE HIGH RIB LATH AT HORIZONTAL APPLICATIONS)
9-112	EXISTING STUCCO SOFFIT IN THIS AREA TO BE REMOVED FOR ROOF DEMOLITION AND REPLACED WHEN ROOF IS REBUILT



1 **North Elevation - Existing**  
1/8" = 1'-0"



2 **North Elevation - New**  
1/8" = 1'-0"

Office Tenant Improvement

Griffith Company

20-109

02/09/2021

3050 E. Birch Street  
Brea, CA 92821

A401

Exterior Elevation



RESOLUTION NO. P.C. 86-6

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING CONDITIONAL USE PERMIT APPLICATIONS NOS. C.U.P. 86-3, C.U.P. 86-4 AND C.U.P. 86-5, SUBJECT TO CONDITIONS AS SET FORTH HEREIN.

A. Recitals:

(i) The Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Conditional Use Permit Applications Nos. C.U.P. 86-3, C.U.P. 86-4 and C.U.P. 86-5, a request to construct a two story, 29,505 square foot, office building within 300 feet of residentially zoned property with up to 30% of the required parking spaces to be of compact size.

(ii) The property is located at 3050 E. Birch Street.

(iii) The property is located in the M-1, Light Industrial, zone and is legally described as Lot 18 of Tract 10129, as shown in the latest records of the County of Orange.

(iv) All legal prerequisites to the adoption of this Resolution have occurred.

B. RESOLUTION: NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in the Recitals, Part A, of this Resolution.

2. Negative Declaration No. 86-2 was approved by the City Council on January 21, 1986.

RESOLUTION NO. P.C. 86-6

Page two

Applicant: Mark D. Cernich & Associates

Conditional Use Permit Applications Nos. C.U.P. 86-3, C.U.P. 86-4 and C.U.P. 86-5

3. It is hereby found that the uses applied for, 30% compact parking stalls, administrative and professional offices, development of industrially zoned property within 300 feet of residentially zoned property, at the location set forth in the application are authorized by Ordinance No. 425, Brea Zoning Ordinance, as amended, as set forth in Sections 263 B.5, 266 and 304.

4. It is further found that said uses, 30% compact parking stalls, administrative and professional offices, development of industrially zoned property within 300 feet of residentially zoned property, with conditions as imposed is desirable for the development of the community, is in harmony with the various elements and objectives of the General Plan and is not detrimental to existing uses or to uses specifically permitted in the zone in which the proposed uses are to be located.

5. It is hereby found that the site is adequate in size and shape to accommodate the proposed development and all of the yard setbacks, walls, fences and landscaping and other features required to bring the site into conformity with the other elements of the neighborhood.

6. It is found that the proposed site relates to streets and highways which are properly designed and shall be or are now improved to carry the type and quantity of traffic generated and to be generated by the proposed development.

7. Conditional Use Permit Applications Nos. C.U.P. 86-3, C.U.P. 86-4 and C.U.P. 86-5 are hereby approved subject to the following conditions:

RESOLUTION NO. P.C. 86-6

Page three

Applicant: Mark D. Cernich & Associates

Conditional Use Permit Application No. C.U.P. 86-3, C.U.P. 86-4 and C.U.P. 86-5

- A. The development shall take place in conformance with plans dated January 9, 1986 and referenced as Exhibit "A". Uses for this development are restricted to the following:
  - 1. Administrative and Professional Offices, excluding medical and dental offices.
- B. The applicant shall provide a minimum of five foot wide perimeter landscape strips along the project's property lines, exclusive of that area lying within the common driveway. The Site Plan shall be revised to reflect this condition prior to the issuance of any grading or building permits.
- C. A final landscape and full-coverage automatic irrigation system plan shall be provided for review subject to the approval of the City Planner and shall be installed as approved prior to building occupancy.
- D. Construction activity shall be restricted to between the hours of 7:00 a.m. to 7:00 p.m., Monday through Saturday, except that interior construction activity shall not be limited. All construction equipment shall be properly muffled to reduce noise levels. Construction generated dust shall be controlled at all times by adequate watering techniques.
- E. The applicant shall provide an exterior lighting plan, as approved by the City Planner and Traffic Engineer.
- F. The applicant shall provide a final grading plan prepared by a registered civil engineer, as approved by the City Engineer.
- G. The applicant shall participate in the City of Brea's Art in Public Places Program as required by the Art in Public Places Policy Manual.
- H. The applicant shall provide for textured concrete on the project site at intermittent locations as approved by the City Planner.
- I. All proposed exterior retaining walls, fences, etc. shall be constructed of a material as approved by the City Planner.
- J. All ground-mounted utility and mechanical equipment shall be screened and sound buffered as shown on the landscape plans subject to the review and approval of the City Planner.

RESOLUTION NO. P.C. 86-6

Page Four

Applicant: Mark D. Cernich & Associates

Conditional Use Permit Application No. C.U.P. 86-3, C.U.P. 86-4 and C.U.P. 86-5

- K. The applicant shall sign a notarized affidavit within fifteen (15) days after adoption of this resolution indicating an acceptance of all conditions of approval.

13. The Secretary to this Commission shall certify to the adoption of this Resolution.

ADOPTED AND APPROVED this 28th day of January, 1986

  
Chairman, Planning Commission

I, James DeStefano, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea, held on the 28th day of January, 1986, and was finally passed at a regular meeting of the Planning Commission, held on the 28th day of January, 1986, by the following votes:

AYES: COMMISSIONERS: Behoteguy, Neti, Davis, Wolfert and Clausen

NOES: COMMISSIONERS: None

ABSENT: COMMISSIONERS: None

ABSTAIN: COMMISSIONERS: None

ATTEST:   
Secretary, Planning Commission

# CITY OF BREA notice of public hearing

ATTACHMENT E

**TO:** Property Owners within a 500-Foot Radius  
**FROM:** City of Brea, Community Development Department  
**SUBJECT:** Conditional Use Permit (CUP) Nos. 2021-01 and 2021-02

NOTICE IS HEREBY GIVEN, pursuant to State Law, that a public hearing will be held by the Planning Commission to determine whether or not the subject request shall be approved under the provisions of State Law and the Brea City Code as follows:

**DATE AND TIME OF HEARING:** Tuesday, June 22, 2021, 7:00 p.m.  
All interested persons may appear and be heard at that time.

**PLACE OF HEARING:** Brea Civic & Cultural Center, Council Chambers  
1 Civic Center Circle, Brea, CA 92821

**PURSUANT TO THE LOCAL EMERGENCY CONCERNING THE COVID-19 VIRUS DECLARED BY THE CITY COUNCIL OF THE CITY OF BREA ON MARCH 19, 2020, AND EXECUTIVE ORDER N-29-20 ISSUED BY GOVERNOR GAVIN NEWSOM ON MARCH 18, 2020, THE PLANNING COMMISSION MEETING MAY BE CONDUCTED IN WHOLE OR IN PART BY TELECONFERENCE.**

**FURTHER INFORMATION MAY BE OBTAINED BY CALLING THE PLANNING DIVISION AT (714)990-7674 OR BY EMAILING [planning@cityofbrea.net](mailto:planning@cityofbrea.net). ALL PERSONS WISHING TO PARTICIPATE BY TELECONFERENCE SHOULD CONTACT THE CITY NO LATER THAN NOON ON JUNE 22, 2021.**

**REQUEST:** The Applicant is requesting a CUP (2021-01) to enclose a 1,350 square-foot balcony on the second floor of a 29,505 square-foot office building, and to modify the surface parking lot to add seven parking spaces totaling 116 parking spaces at the site. CUP 2021-02 is requesting a reduction of the required number of off-street parking spaces at the site.

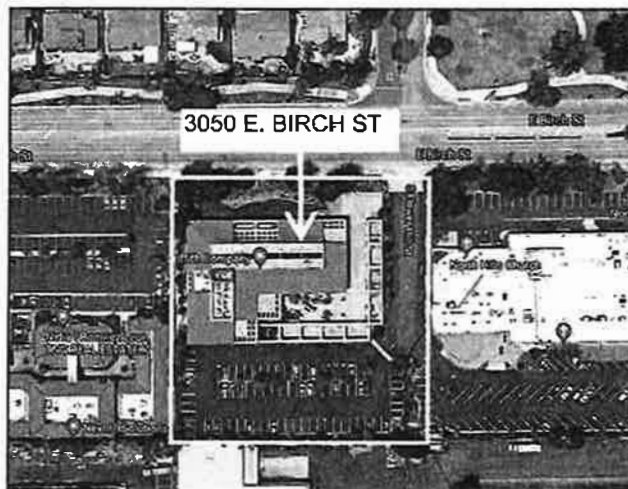
**PROPERTY INVOLVED:** 3050 E. Birch Street, Brea, CA 92821

**APPLICANT:** Wade Shuey  
2501 E. Guasti Rd. Suite 201, Ontario, CA 91761

**PROPERTY OWNER:** Griffith Company  
3050 E. Birch St., Brea, CA 92321

**ENVIRONMENTAL INFORMATION:** The City of Brea, in accordance with the California Environmental Quality Act (CEQA), has determined that the proposed project is exempt under Section 15301. The project qualifies for this exemption as the enclosing of the 1,350 square-foot area would be considered a negligible expansion of an existing or former use.

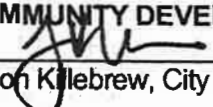
**AREA MAP:**



**IF YOU CHALLENGE PROJECT AND RELATED ENVIRONMENTAL DETERMINATIONS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE, DELIVERED TO THE COMMISSION AT, OR PRIOR TO, THE PUBLIC HEARING.**

**FOR FURTHER INFORMATION ON THIS SUBJECT, PLEASE CONTACT THE PLANNING DIVISION AT (714) 990-7674.**

**COMMUNITY DEVELOPMENT DEPARTMENT**

  
Jason Killebrew, City Planner



## ATTACHMENT F

## Notice of Exemption

## Appendix E

**To:** Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044

County Clerk

County of: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**From:** (Public Agency): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

(Address)

Project Title: \_\_\_\_\_

Project Applicant: \_\_\_\_\_

Project Location - Specific:

Project Location - City: \_\_\_\_\_ Project Location - County: \_\_\_\_\_

Description of Nature, Purpose and Beneficiaries of Project:

Name of Public Agency Approving Project: \_\_\_\_\_

Name of Person or Agency Carrying Out Project: \_\_\_\_\_

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☐ Categorical Exemption. State type and section number: \_\_\_\_\_
- ☐ Statutory Exemptions. State code number: \_\_\_\_\_

Reasons why project is exempt:

Lead Agency \_\_\_\_\_

Contact Person: \_\_\_\_\_ Area Code/Telephone/Extension: \_\_\_\_\_

**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project?      Yes      No

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Title: \_\_\_\_\_

Signed by Lead Agency      Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.  
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: \_\_\_\_\_

## **TECHNICAL BACKGROUND**

<b>Case No:</b>	PLN-2021-00018
<b>Property Location:</b>	3050 E. Birch Street
<b>Parcel Size:</b>	1.76 acres
<b>Building Size:</b>	Existing: 29,505 SF / Proposed New: 1,350 SF
<b>Applicant:</b>	Mr. Wade Shuey, rep. for the Griffith Company 3050 E. Birch Street Brea, CA 92821
<b>General Plan Designation:</b>	Light Industrial
<b>Zoning Designation:</b>	Light Industrial (M-1)
<b>Adjacent Zoning</b>	
<b>North:</b>	Single-Family Residential (R-1)
<b>South:</b>	M-1
<b>West:</b>	M-1
<b>East:</b>	M-1
<b>Site and Neighborhood Characteristics:</b>	The site is located at the southwest intersection of East Birch Street and South Flower Hill Street. Adjacent properties on the east, west, and south are zoned M-1, and to the north approximately 110' across Birch Street are R-1 (Single-Family Residential) zoned properties.
<b>Public Hearing Notices and Outreach:</b>	Legal Notice was published in the Brea Star Progress on June 10, 2021, and approximately 60 notices were sent to all property owners within a 500-foot radius of the project.

**City of Brea**

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**PLANNING COMMISSION COMMUNICATION**

**TO:** Honorable Chair and Planning Commission

**FROM:** Jason Killebrew, City Planner

**DATE:** 06/22/2021

**SUBJECT:** AMENDMENT TO CONDITIONAL USE PERMIT NO. 10-04: A REQUEST TO ENCLOSE A 6,711 SQUARE-FOOT PARKING AREA, OF A 21,333 SQUARE-FOOT CHURCH/RELIGIOUS INSTITUTION, TO BE USED AS AN ASSEMBLY AREA FOR SERVICES, AND ALLOW MODIFICATIONS TO THE EXISTING PARKING LOT LOCATED AT 1215 W. LAMBERT ROAD, IN THE M-1 (LIGHT INDUSTRIAL) ZONE.

---

**REQUEST**

The Applicant, James Thayer Architect, representing Living Hope Community Church, is requesting an amendment to Conditional Use Permit (CUP) No. 10-04 for the following:

- To enclose a 6,711 square-foot covered parking area to be used as an assembly area for church/religious services; and
- Modify the surface parking lot and remove 23 off-street parking spaces, resulting in a total of 152 spaces at the site.

**RECOMMENDATION**

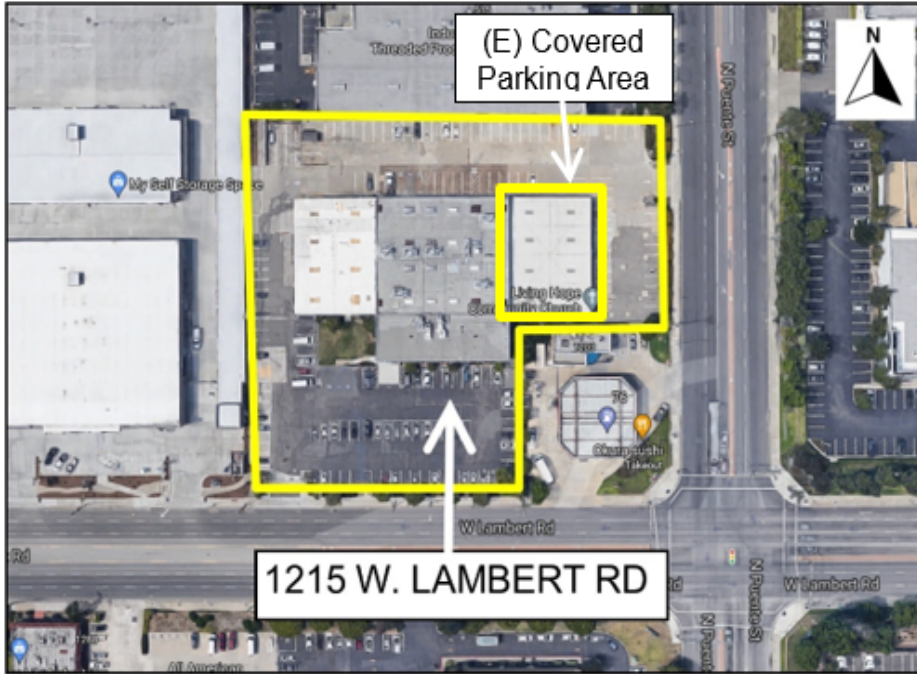
Staff recommends that the Planning Commission take the following actions:

1. Find the project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA guidelines Section 15301 (Class 1, Existing Facilities); and,
2. Approve Amendment to CUP No. 10-04 to allow the enclosure of a 6,711 square-foot covered parking area to be used as an assembly area, and modifications to the existing parking lot, based on the findings and conclusions in the attached resolution (Attachment A), and subject to the recommended conditions of approval (Attachment B)

**BACKGROUND/DISCUSSION**

## BACKGROUND

**Figure 1: Aerial View of Project Site**



## Existing Use and Location

The project site is located northwest of the intersection of West Lambert Road and North Puente Street, and has a General Plan Land Use designation and zoning of Light Industrial (M-1). The 2.47-acre site is developed with a two-story, 21,333 square-foot building, a surface parking lot with 161 parking spaces, and a 6,711 square-foot covered parking area. Adjacent properties on the north, east, and west are zoned M-1, and to the south across Lambert Road is a C-P (Commercial Administrative and Professional) zoned property.

The site is owned and occupied by the Living Hope Community Church. Activities at the site include worship services on Sundays and related administrative office and prayer meetings throughout the week.

**Figure 2: Zoning Map**



### **Entitlement History**

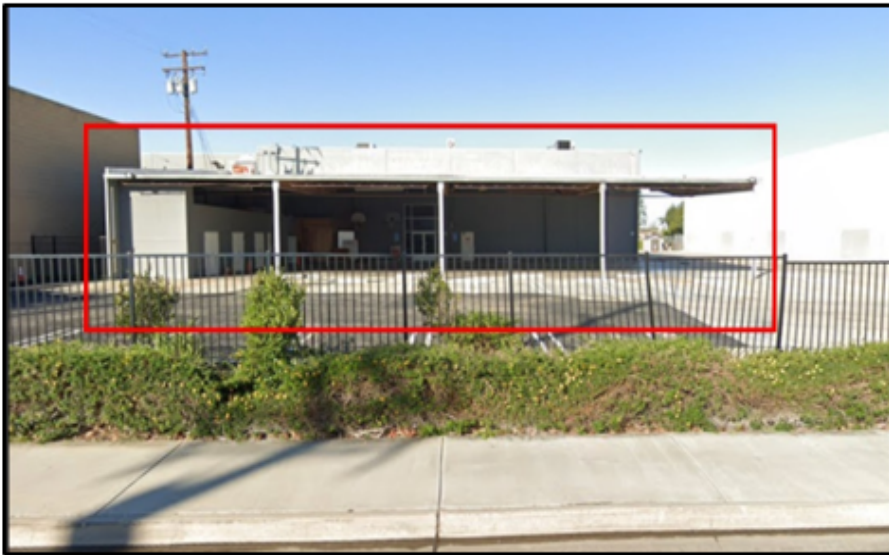
On April 27, 2010, the Planning Commission approved CUP No. 10-04 to allow an existing 21,333 square-foot building to be converted to a church/religious institution. This approval also included the use of a 6,711 square-foot solid canopy as a covered parking area. Resolution No. 10-10 is provided as Attachment F of this report.

On April 26, 2021, the Applicant filed a request to amend the CUP to enclose the covered parking area, herein referred to as the “project”.

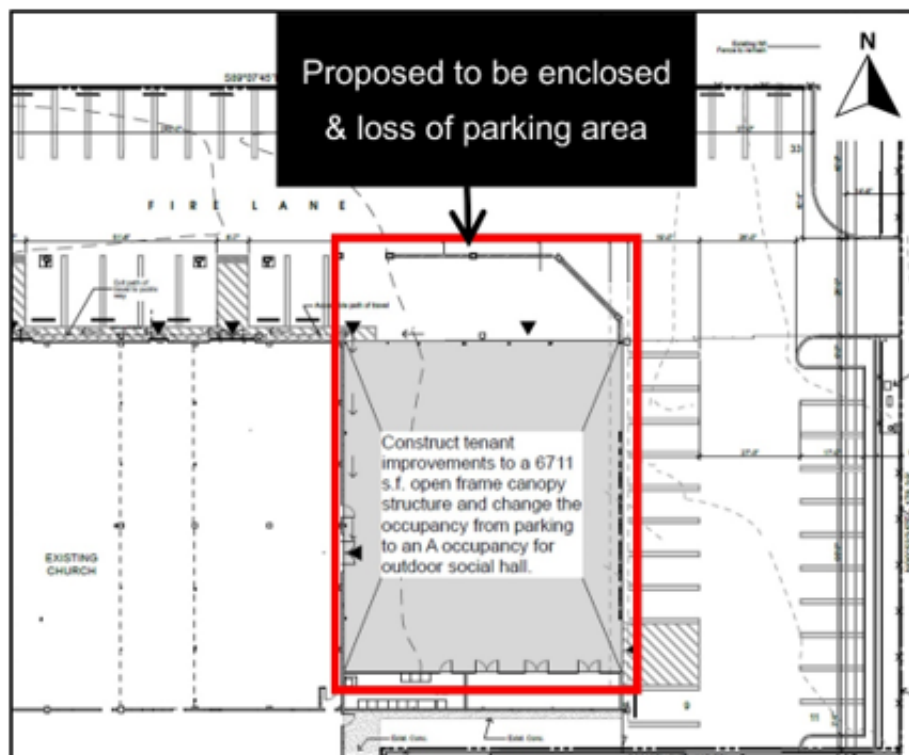
### **PROJECT DESCRIPTION**

The proposed project seeks to enclose an existing attached 6,711 square-foot covered parking area, to be used for children and youth worship services. Additional services and worship times are not proposed with this application. The enclosing of this area would be a predominantly open floor plan, with some storage, increasing the total building size to 30,855 square-feet. Figure 3 below highlights the existing covered parking area, and Figure 4 shows the proposed site plan with modifications to the parking lot.

**Figure 3: Covered Parking Area Proposed to be Enclosed**



**Figure 4: Proposed Parking Lot Restriping**



## **ANALYSIS**

### **Development Standards**

Development in the M-1 zone is governed by Section 20.252.040 of the Brea City Code (BCC). The proposed enclosure of the covered parking area would not increase the height of the building or building lot coverage at the site. As demonstrated in Table 1 below, the proposed project would comply with all applicable development standards of the M-1 zone.

**Table 1: M-1 Zone Building Development Standards**

	Existing	Allowed/Required	Proposed
<b>Building Height</b>	28'-0"	60' maximum	28'-0"
<b>Height of Covered Parking Structure</b>	20'-0"	60' maximum	20'-0"
<b>Lot Coverage</b>	approx. 30%	50% maximum	approx. 30%

Section 20.252.040(L) of the BCC restricts buildings or structures from having more than 25-percent of their exterior walls made of sheet metal when located closer than one hundred fifty (150) feet from the property line along any major or secondary highway. The exterior east and north walls of the proposed enclosed parking area would be approximately 60-feet from North Puente Street, therefore, the Applicant is proposing a combination of exterior wall materials comprising of fiberglass, glazed panels, and no more than 25-percent corrugated metal. Condition H of the draft conditions of approval, provided as Attachment B to this report, further requires that no more than 25-percent of the exterior walls of the enclosed area shall be comprised of metal materials. Table 2 and the proposed exterior elevations below summarizes how the proposed project would comply with this section of the BCC.

**Table 2: Exterior Metal Walls/Façade**

	Existing	Allowed/Required	Proposed
<b>Metal Façade</b>	East	25% maximum	22%
	North	25% maximum	17%

### Parking

Section 20.08.040 of the BCC requires churches and religious institutions to provide one parking space for every three fixed seats, or one space for every 35 square-feet where there are no fixed seats. CUP No. 10-04 approved the church to have 296 seats in its sanctuary, requiring 99 off-street parking spaces based on the one space for every three fixed seats calculation. The proposed 6,711 square-foot enclosed assembly area would not have fixed seating, and would require 192 off-street parking spaces based on the one space for every 35 square-feet calculation. Combined, the existing sanctuary and proposed assembly area require a total of 291 parking spaces.

After the proposed enclosing of the covered parking area, the project would provide 152 off-street parking spaces on-site in a surface parking lot. In addition to the 152 parking spaces on-site, the Applicant has secured two shared parking agreements with adjacent sites that provide a combined total of 150 off-site parking spaces (included as Attachment E). Both off-site locations are occupied by businesses that do not conduct operations after 5:00 PM during the weekdays and are closed on weekends. Since the church services are predominantly after 5:00 P.M. on weekdays and on weekends, the church would have sole access to those off-site parking spaces with no conflict with the other businesses. In addition, Condition G of the attached conditions of approval would require that the two parking agreements remain active or replaced to meet the minimum off-street parking requirement. The CUP for the operation of the church would be subject to review by the Planning Commission if the off-street parking would not be met.



Figure 5 below shows an aerial image with the location of the two off-site parking highlighted in yellow.

**Figure 5: Off-Site Parking Lots**



With the 152 spaces on-site and the 150 spaces secured in agreements, there are 302 off-street parking spaces available for the site, 11 more spaces than the 291 spaces required by the BCC. Table 3 below summarizes how the proposed project would comply with the BCC off-street parking requirements.

**Table 3: Off-Street Parking**

	Required	Provided
<b>Sanctuary with 298 Fixed Seats</b>	99 spaces	152 spaces on-site
<b>Proposed 6,711 SF Assembly Area</b>	192 spaces	150 spaces off-site
<b>Total</b>	<b>291 spaces</b>	<b>302 spaces</b>
291 spaces required <u>302 spaces provided</u> <b>11 spaces surplus</b>		

The Applicant's operation plan indicates one worship service would be conducted at a single time, with no concurrent or overlapping services. The Applicant has provided an operation plan and schedule and is included as Attachment D to this report. Current Sunday worship service times are 9:30 AM to 10:35 AM and 11:30 AM to 12:30 PM. Further, during the pre-COVID peak Sunday service time of 9:30 AM, there were a maximum of 284 adults on-site. Of the 284 adults, some of them carpooled and arrived together such as members of the same family. Therefore, the 302 available parking spaces meet the BCC requirement and are operationally adequate to accommodate the church's peak parking demand.



## Use

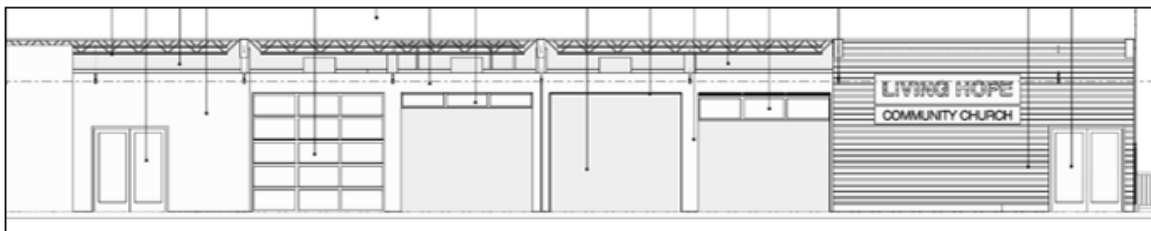
Section 20.252.020 of the BCC allows churches and religious institutions in the M-1 zone subject to a CUP. As originally approved, Condition A of CUP No. 10-04 requires that church operations and use of the site occur in conformance with the previously approved plans. The enclosing of the 6,711 square-foot covered parking area would modify the approved plans, and therefore requires an amendment to the CUP.

The Applicant proposes to continue using the site, including the proposed new enclosed assembly area, as a church. All associated activities would be conducted indoors and would comprise of office hours and prayer meetings held Tuesday through Saturday, and worship service on Sundays. Therefore, the continued use of the building as a church would be appropriate for the site and not adversely affect the public health, safety, or general welfare.

## Plan Review

All proposed development in the M-1 zone requires a Plan Review subject to the review and consideration of the Community Development Director (Director), in accordance to BCC Section 20.252.050. Since this project includes an amendment to an existing CUP, subject to Planning Commission review, the Director is deferring full reviewing authority to the Planning Commission. Figure 6 below shows an image of the proposed east building elevation.

**Figure 6: Proposed East Elevation**



As proposed, the covered parking area would be enclosed with fiberglass reinforced panels that would be painted to match the exterior walls of the building, metal frame roll-up doors with glazed panels, corrugated metal siding, and open/window areas to provide ventilation. Additionally, the proposed project would have exterior walls comprised of less than 25-percent metal material, as required by the BCC. Therefore, as proposed, the exterior improvements would comply with the City's requirements for properties in the M-1 zone, complement the existing building and development in the surrounding area, and would not result in any impacts to neighboring properties.

## **PUBLIC NOTICE AND COMMENTS**

This project was noticed in accordance with the City's public noticing requirements, which involved mailed notices and publication in the local paper. The public hearing notice for this project is provided as Attachment G. As of the writing of this report, staff has not received any public correspondence.

## **CONCLUSION**

Based on the information provided in the application and through the analysis presented in this report, staff recommends that the project should be approved. The project, as designed and conditioned in Attachment B, is suitable for the site and would not present any adverse

impacts to the City as further outlined in the draft resolution (Attachment A). Therefore, staff recommends approval of the project.

### **ENVIRONMENTAL ASSESSMENT**

This project has been assessed in accordance with the CEQA guidelines, and the environmental regulations of the City. Upon review, the proposed project qualifies for a Class 1 Categorical Exemption (Existing Facilities) in accordance with the requirements of Section 15301 of the state CEQA guidelines. This exemption is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The project qualifies for this exemption as the enclosing of the existing 6,711 square-foot canopy would be considered a negligible expansion of an existing or former use. A Notice of Exemption has been prepared and is included as Attachment H to this report.

### **RESPECTFULLY SUBMITTED**

Jason Killebrew, City Planner

Prepared by: Juan Arauz, AICP, Senior Planner

---

### **Attachments**

- A. Draft Resolution
  - B. Draft Conditions of Approval
  - C. Project Plans
  - D. Church Operations and Schedule
  - E. Off-Site Parking Agreements
  - F. Planning Commission Resolution 10-10
  - G. Public Hearing Notice
  - H. Notice of Exemption
  - I. Technical Background
-

**RESOLUTION NO. PC 2021-xx**

**AMENDMENT TO CONDITIONAL USE PERMIT NO. 10-04: A REQUEST TO ENCLOSE A 6,711 SQUARE-FOOT PARKING AREA, OF A 21,333 SQUARE-FOOT CHURCH/RELIGIOUS INSTITUTION, TO BE USED AS AN ASSEMBLY AREA FOR SERVICES, AND ALLOW MODIFICATIONS TO THE EXISTING PARKING LOT LOCATED AT 1215 W. LAMBERT ROAD, IN THE M-1 (LIGHT INDUSTRIAL) ZONE.**

**A. RECITALS:**

(i) The Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Amendment to Conditional Use Permit No. 10-04 (CUP 10-04), to allow the enclosure of a 6,711 square-foot covered parking area to be used as an assembly area for church/religious services.

(ii) The subject property is located at 1215 W. Lambert Road, and further legally described as Assessor Parcel Number 296-391-32 with the County of Orange.

(iii) The project Applicant is James Thayer Architect, representing Living Hope Community Church, 1215 W. Lambert Road, Brea, CA 92821.

(iv) The property has a General Plan Land Use designation and zoning of Light Industrial.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

(vi) Resolution No. PC 10-10 originally approving CUP No.10-04 is hereby replaced and superseded by this resolution.

(vii) To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by this approval; and (ii) any and all claims, lawsuits, liabilities, and/or actions arising out of, or related to the approval of this permit

**Resolution No. 2021-XX****Page 2****Applicant: James Thayer Architect****Amendment to CUP No. 10-04**

and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend, and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitees' choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.
2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. Upon review, the Project qualifies for a Class 1 Categorical Exemption (Existing Facilities) in accordance with the requirements of Section 15301 of the CEQA Guidelines. This exemption is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, involving negligible or no expansion of existing or former use. The project involves the enclosure of a 6,711 square-foot covered parking area which is considered a negligible expansion of an existing or former use. Therefore, the Planning Commission finds the Project exempt from the environmental review requirements of CEQA.

3. The Commission further finds in consideration of amendment to CUP No. 10-04 as follows:

**Resolution No. 2021-XX****Page 3****Applicant: James Thayer Architect****Amendment to CUP No. 10-04**

a. Finding: That the use applied for at the location set forth in the application is one for which a CUP is authorized by this title.

Fact: The site is zoned Light Industrial (M-1), where churches and religious institutions are permitted subject to a CUP. On April 27, 2010, the Planning Commission approved CUP No. 10-04 to allow the site to be used as a church/religious institution. The project will maintain the church/religious institution use at the site. Further, Section 20.24.110 of the Brea City Code (BCC) allows buildings and uses existing under a CUP to be expanded or enlarged through a CUP. Therefore, the use applied for at the site is one for which a CUP is authorized.

b. Finding: The project, with conditions as imposed, is desirable for the development of the community, in harmony with the various elements or objectives of the General Plan, and not detrimental to existing uses or uses permitted in the zone.

Fact: The building at the project site has been used as a church since 2010, and the new 6,711 square-foot assembly area will continue to be used for church related functions. Further, the General Plan Land Use designation of light industrial is intended to accommodate low intensity uses contained entirely within buildings, where churches are allowed uses. The project is also supported by General Plan Policy CD-1 by providing a balance of land uses to meet the present and future needs of all residents. Churches provide beneficial community and social services to the community. Furthermore, church related operations will be conducted indoors.

Aesthetically, the covered parking area will be enclosed with fiberglass reinforced panels painted to match the exterior walls of the building, metal frame roll-up doors with glazed panels, corrugated metal siding, and open/window areas to provide ventilation.

Additionally, the exterior walls will comprise of less than 25-percent of metal, as required

**Resolution No. 2021-XX****Page 4****Applicant: James Thayer Architect****Amendment to CUP No. 10-04**

by the BCC. Therefore, the project will not be detrimental to existing or permitted uses in the M-1 zone.

c.     Finding:       The site is adequate in size and shape to accommodate the proposed development and to accommodate the proposed use.

Fact:         The enclosing of the 6,711 square-foot covered parking area will not result in an increase to building height or lot coverage at the site. The project will not affect primary vehicular access to the site provided from Lambert Road, or affect internal vehicular circulation. The project will provide a total of 152 off-street parking spaces at the site, and in addition, the Applicant has secured two shared parking agreements with adjacent sites that provide an additional 150 parking spaces.

Altogether, there are a total of 302 off-street parking spaces provided for the site, 11 more spaces than the 291 spaces required by the BCC. Therefore, the existing building and lot are adequate in shape and size for the project.

d.     Finding:       The proposed site relates to streets and highways which are properly designed and improved to carry the type of quantity of traffic generated.

Fact:         Primary vehicular access to the site will continue to be from Lambert Road, which is a four-lane arterial boulevard. The site also provides secondary vehicular access from Puente Street, which will not be impacted by the project. Both Lambert Road and Puente Street are properly designed to carry the traffic generated by project.

e.     Finding:       That with the conditions stated in the permit, the uses will not adversely affect the public, health, safety, or general welfare.

Fact:         All church related operations will be held within the existing building. The continued use of the site as a church and religious institution does not propose activities or operations that are harmful to the public health, safety, and welfare

**Resolution No. 2021-XX**

**Page 5**

**Applicant: James Thayer Architect**

**Amendment to CUP No. 10-04**

of the City. In addition, the project is required to meet all Building and Fire codes and standards, thereby assuring the public health, safety, and welfare.

4. Amendment to Conditional Use Permit Nos. 10-04 is hereby approved, subject to the conditions found in Attachment A of this resolution.

**Resolution No. 2021-XX**

**Page 6**

**Applicant: James Thayer Architect**

**Amendment to CUP No. 10-04**

5. The Secretary of this Commission shall certify to the adoption of this Resolution.

**ADOPTED AND APPROVED** this 22<sup>th</sup> day of June 2021.

\_\_\_\_\_  
Chairman, Planning Commission

I, Jason Killebrew, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 22<sup>th</sup> day of June 2021 and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 22<sup>nd</sup> day of June 2021, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST: \_\_\_\_\_  
Secretary, Planning Commission



**Attachment A – Resolution No. 2021-XX**

**Conditions of Approval**

**Planning (conditions from Planning Commission Resolution No. 10-10)**

- a. Seating within the adult worship area shall not exceed 296 seats. All church services shall occur in the adult worship area as outlined in the Business Description. Any expansion to the adult worship area and/or church operations shall require review and approval of the Planning Commission.
- b. No academic school activities shall occur (e.g. elementary/junior/high school/daycare).
- c. The applicant shall be responsible for assuring that adequate on-site parking is available for its activities at all times. Scheduling and attendance of said activities shall be consistent with the descriptions provided to the Planning Commission and contained in the Business Description.
- d. The applicant shall provide any necessary modifications to said scheduling and/or attendance for activities if and when necessary, should any parking impacts result at the site, as determined by the City Planner.
- e. The applicant shall have limited outdoor activities, consistent with the project description submitted and on file in the Planning Division. Any modifications to hold services or any other church activities outdoors will require review and approval by the City Planner.

**Planning**

- f. Church related activities shall occur in substantial conformance with the plans presented to the Planning Commission on June 22, 2021, on-file in the Planning Division, and with the conditions contained herein, and all applicable Federal, State, County, and City regulations.
- g. The applicant shall maintain off-street parking agreements, as presented to the Planning Commission, providing a minimum total of 139 off-site parking spaces. Should these agreements expire or become null-and-void, the applicant shall demonstrate compliance with the minimum off-street parking requirement. Failure to provide the minimum off-street parking requirement could result in this CUP being subject to revocation.
- h. The exterior walls of the enclosed parking area shall be comprised of no more than 25-percent of metal materials, and non-metal walls shall be painted to substantially match the existing building.
- i. To the fullest extent permitted by law, the Applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by this approval; and (ii) any and all claims, lawsuits, liabilities, and/or actions arising out of, or related to the approval of this permit and/or the granting or exercise of the rights

## ATTACHMENT B

authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend, and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitees' choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.

### **Building and Safety**

- j. Upon building plan check, new exit analysis shall be provided with proper protections and width of exit passageways.
- k. Upon building plan check, ADA features must be shown and updated to meet current requirements. Please update path of travel from public right of way (side walk) to main entrance.
- l. Upon building plan check, five complete set of plans or electronic submittal will be required that includes structural calculations, Title 24, and fire life safety analysis with proposed occupant loads.



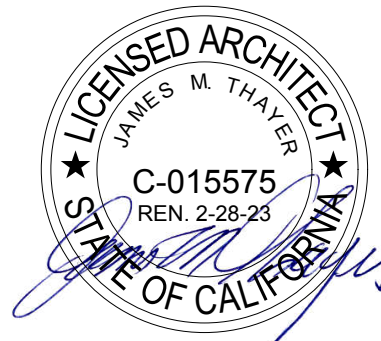
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9891 IRVINE CENTER DRIVE - SUITE 140  
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EMAIL: MAIN@TMLSRC.COM

CONSULTANT

C.U.P. 10-04

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PROJECT

Living Hope Church  
Remodel of East  
Covered Fellowship  
Area

SITE ADDRESS:  
1215 West Lambert Road  
Brea, CA 92821

PH 909-455-4495

SHEET DATA

PROJECT # 21004  
APN: APN 296-391-32  
PDF DATE: 4/20/21-3:20 PM  
DRAWN BY:  
LAST SAVED BY: iMac 5k i7  
CAD FILENAME:  
16008 Living Hope Deck.pln

Cover Sheet

A001E

Sheet Index

ID	Sheet Name
A001E	Cover Sheet
A005	Schedules
A010E	Site Plan
A050E	CalGreen Notes
A051E	CalGreen Notes
A052E	CalGreen Notes
A060E	Accessibility Notes
A061E	Accessibility Notes
A062E	Accessibility Details
A111E	Floor Plan East Cover
A112E	Reflected Ceiling Plan
A202E	Interior Elevations
A201E	Exterior Elevations
A501E	Architectural Details
E001E	Electrical Notes
E002E	Electrical Schedules
E111E	Lighting Plan
E112E	Power Plan

# Living Hope Church Remodel of East Covered Fellowship Area

Building Information

**Applicable Codes:** This project shall comply with the 2019 California Building, Mechanical, Electrical, Plumbing, Fire, Energy, and Green Codes.  
**Occupancy:** A-2  
**Number of Stories:** One (adding tenant improvements to the existing one story canopy covered fellowship area that is attached to the existing two story building)  
**Type of Construction:** III-A (existing)  
**Maximum Height:** Varies - the existing one story patio is less than 21'-0" at all places  
**Sprinklers:** Yes (existing)  
**Occupant Load:** 1,277 (existing)

**NOTE:**  
The remainder of the existing building is not to be revised and is not a part of this contract.

Description of the Work of this Project

**Project:** Construct tenant improvements to the existing 6,711 sf outdoor canopy frame structure

Project Notes:

- Prior to final inspection the licensed contractor, architect, or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction.
- The outdoor canopy that is being remodeled will be for the use, of and occupied by, the same members of the church congregation that occupy the rest of the building - this tenant improvement will not add to the existing total occupant load of the building. As a result, the required plumbing fixture count will not be increased. The existing restrooms (and other plumbing facilities) will service the occupants of the remodeled outdoor canopy.

Deferred Submittals

Submittal documents for deferred submittal items shall be submitted to the registered design professional in responsible charge, who shall review them and forward them to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with the design of the building. The deferred submittal items shall NOT be installed until their design and submittal documents have been approved by the building official.

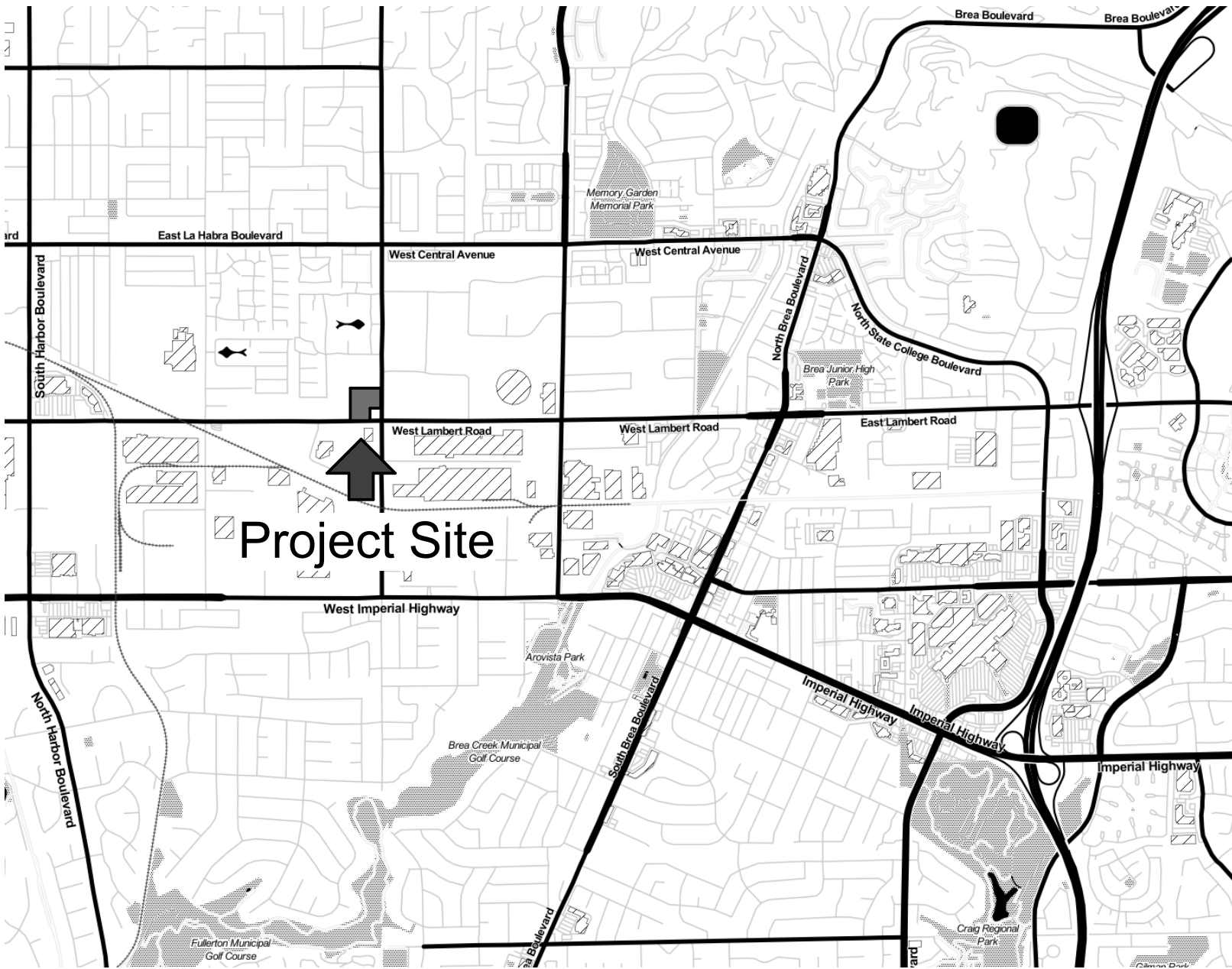
- Sprinkler system retrofit if required by fire department.

Project Team:

ARCHITECT:  
Timeless Architecture, Inc.  
9891 Irvine Center Dr., Ste. 140  
Irvine, CA 92618  
(949) 831-8110  
Jim Thayer  
email: jim@tmsarc.com

Legal Description:

P BK 330 PG 39 PAR 2



Vicinity Map





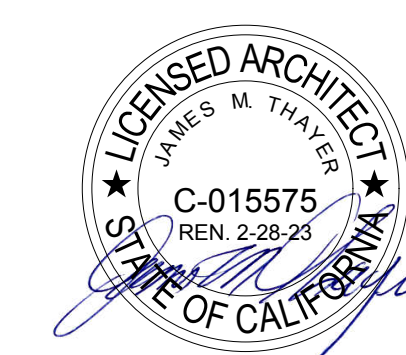
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PROJECT

**Living Hope Church  
Remodel of East  
Covered Fellowship  
Area**

**SITE ADDRESS:**  
1215 West Lambert Road  
Brea, CA 92821

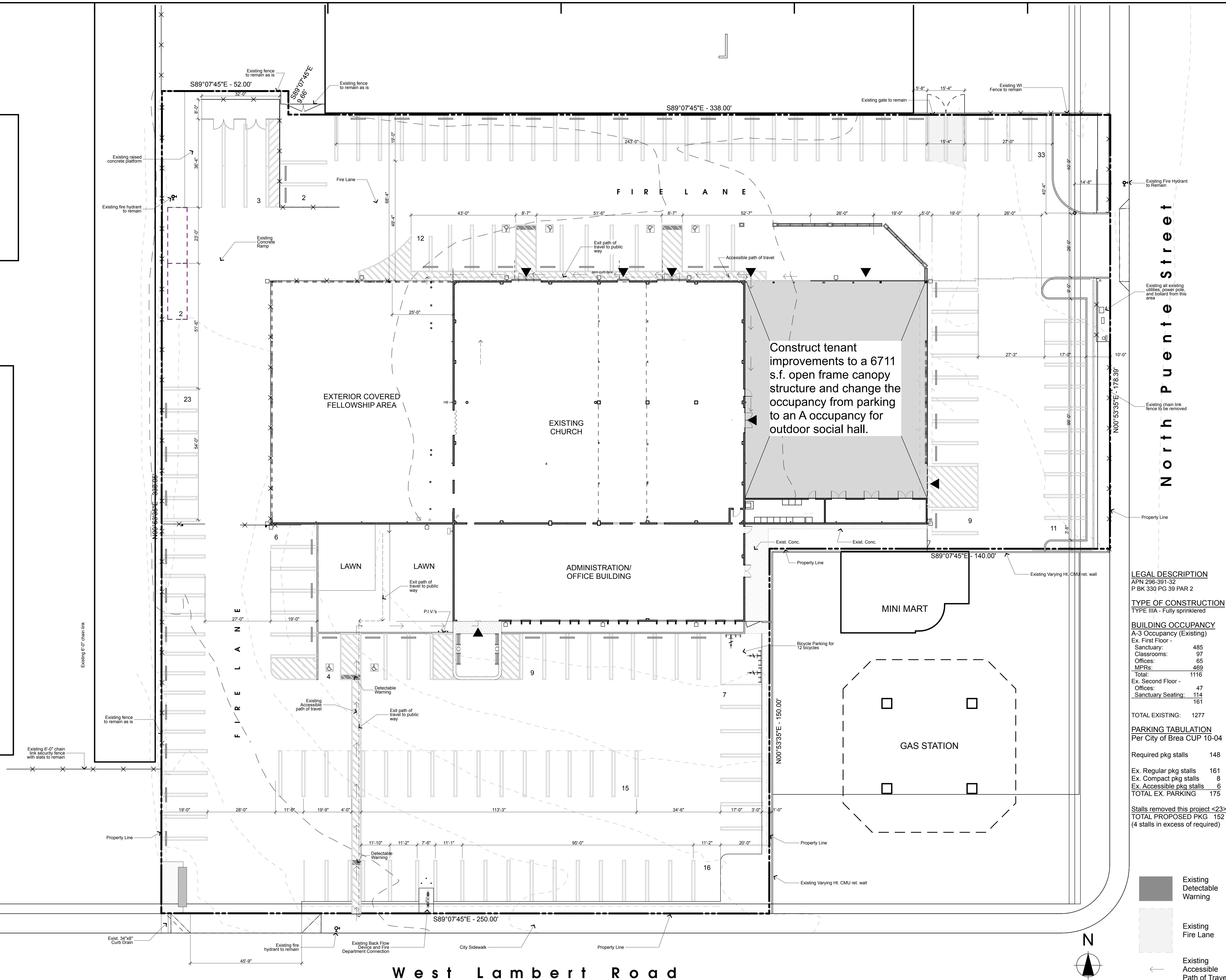
PH 909-455-4495

SHEET DATA

PROJECT # 21004  
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PDF DATE: 4/22/21-11:48 AM  
DRAWN BY:  
LAST SAVED BY: iMac 5k i7  
CAD FILENAME:  
16008 Living Hope Deck.pln

Site Plan

A010E



- Existing Detectable Warning
- Existing Fire Lane
- Existing Accessible Path of Travel

1 Site Plan

SCALE: 1/16" = 1'-0"





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PROJECT

**Living Hope Church  
Remodel of East  
Covered Fellowship  
Area**

SITE ADDRESS:  
1215 West Lambert Road  
Brea, CA 92821

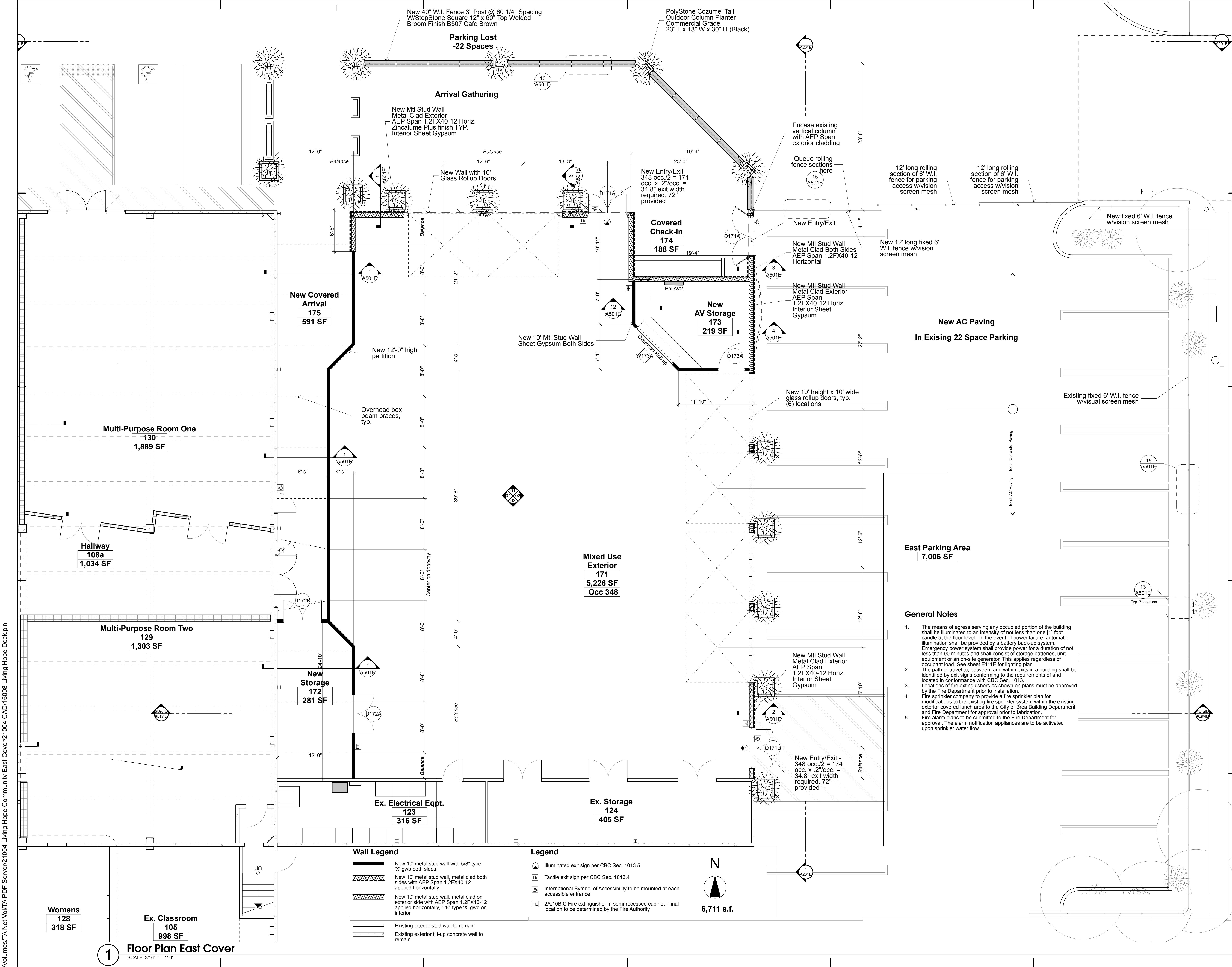
PH 909-455-4495

SHEET DATA

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PDF DATE: 4/23/21-11:44 AM  
DRAWN BY:  
LAST SAVED BY: iMac 5k i7  
CAD FILENAME:  
16008 Living Hope Deck.pln

Floor Plan East Cover

A111E



Volumes/TA Net/Vol/TA PDF Server/21004 Living Hope Community East Cover/21004 CAD/16008 Living Hope Deck.pln





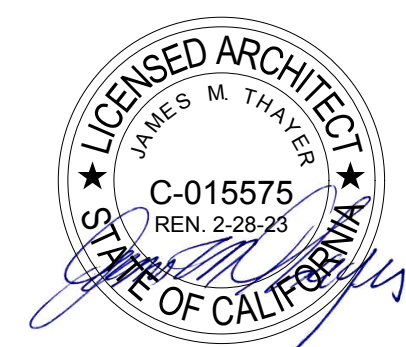
TIMELESS  
ARCHITECTURE  
• INC.

9891 IRVINE CENTER DRIVE • SUITE 140  
IRVINE • CALIFORNIA • 92618  
TEL: 949-831-8110 FAX: 949-951-2820  
EMAIL: MAIN@TMLSR.C.COM

CONSULTANT

C.U.P. 10-04

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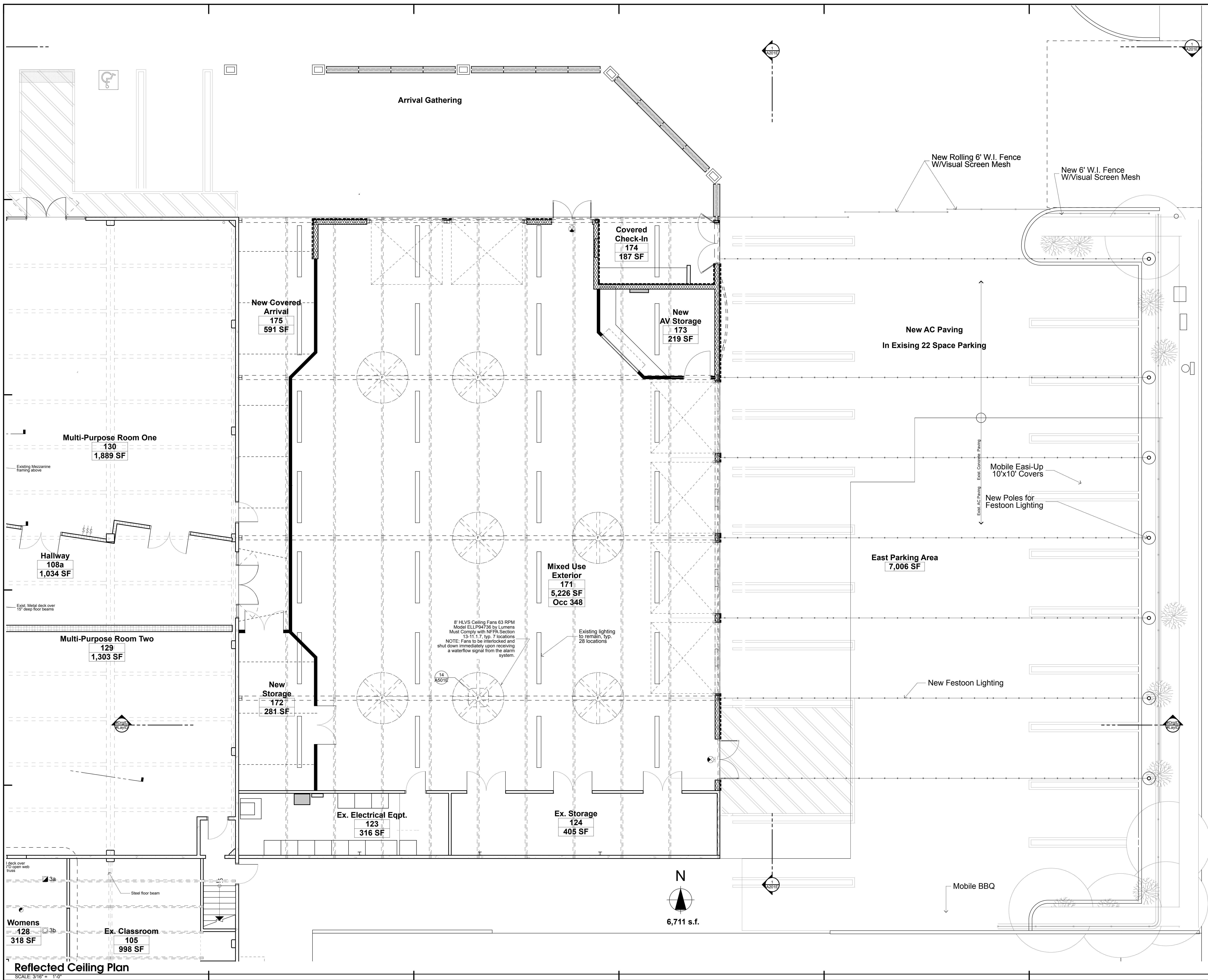
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PDF DATE: 4/20/21-3:21 PM  
DRAWN BY:  
LAST SAVED BY: iMac 5k i7  
CAD FILENAME:  
16008 Living Hope Deck.pln

Reflected Ceiling Plan

A112E



Volumes/TA Net/Vol/TA PDF Server/21004 Living Hope Community East Cover/21004 CAD/16008 Living Hope Deck.pln

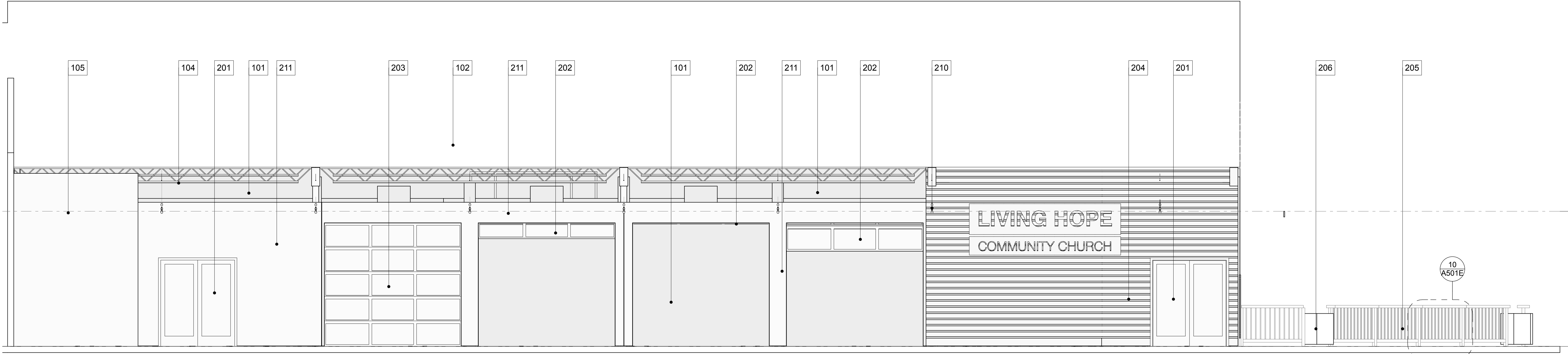




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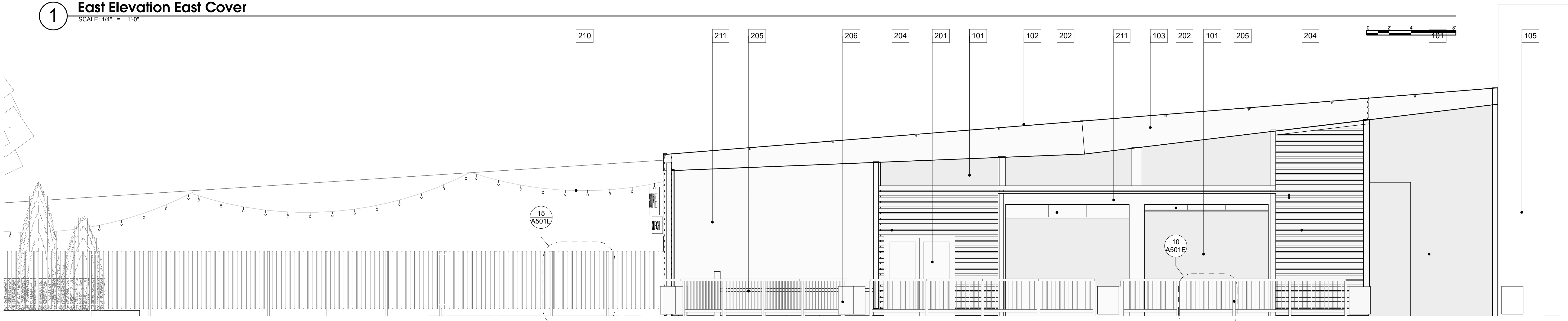
CONSULTANT



Total Proposed Facade Wall Area 1,451 sq ft  
1,451 sq ft @ 25% allowable metal cladding=362 sq ft  
326 sq ft metal cladding proposed =22% of facade therefore OK

New Metal Cladding 326 sq ft

1 East Elevation East Cover  
SCALE: 1/4" = 1'-0"

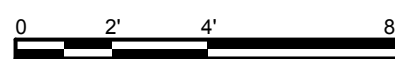


Total Proposed Facade Wall Area 1,323 sq ft  
1,323 sq ft @ 25% allowable metal cladding=330 sq ft  
222 sq ft metal cladding proposed = 17% of facade therefore OK

New Metal Cladding 79 sq ft

New Metal Cladding 143 sq ft

1 North Elevation East Cover  
SCALE: 1/4" = 1'-0"



Finish Keynotes

- 101 Shaded area indicates 'open to the interior' or 'open to the exterior'
- 102 Existing corrugated metal roof to remain
- 103 Existing tapered steel beam to remain
- 104 Existing truss purlins to remain
- 105 Existing building exterior wall to remain
- 106 Existing building interior wall to remain
- 201 New storefront door and frame
- 202 New overhead metal door with glazed panels - shown in 'up' position
- 203 New overhead metal door with glazed panels - shown in 'down' position
- 204 New AEP corrugated metal siding
- 205 New wrought iron patio enclosure fence per detail 10/A501E
- 206 New outdoor column planter per floor plan
- 207 New metal door and frame
- 208 New gypsum board wall
- 209 New storefront window
- 210 New exterior festoon lighting
- 211 New Smooth FRP Board Paint to Match Existing Main Building

C.U.P. 10-04

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Brea, CA 92821

PH 909-455-4495

SHEET DATA

PROJECT # 21004  
APN: APN 296-391-32  
PDF DATE: 6/4/21-1:08 PM  
DRAWN BY:  
LAST SAVED BY: iMac 5k i7  
CAD FILENAME:  
16008 Living Hope Deck.pln

Exterior Elevations

A201E

## Update to the 2010 CUP application for Living Hope Community Church

**I. Project Overview**

Living Hope Community Church received a Conditional Use Permit to use the property located on 1215 W. Lambert Ave in Brea as a church in 2010. The property is 2.47 acres and the buildings total 21,333 square/feet. The church has made extensive improvements to the property inside and out.

During the pandemic, the church adjusted operations to follow the regulations given by the state, county and city by taking worship assemblies outside. Even though the church is now legally allowed to operate completely indoors, the church feels that it would be prudent (medically and peace of mind) to continue to worship outdoors as much as possible. It is the church's experience that people are still reluctant to gather indoors in large numbers. Many also are choosing simply to worship at home online.

Our current proposal is to convert our East Covered Parking area into an outdoor multi-use space. The approximately 7,000 sq/ft space would be used to shift some of the operations that used to occur indoors (kids worship in chapel 1 and youth worship in chapel 2) to outdoors. We are not doubling up indoor and outdoor spaces, but merely moving what usually occurs indoor to the outdoor space. The outdoor venue will also have the ability to stream so that kids & youth who are at home can participate. **The purpose of this renovation is not to increase capacity, but to allow kids & youth to worship socially distanced outdoors as much as possible.**

Thus, we do not believe this project will increase capacity or attendance. As of now, our current peak attendance of 194 is 40% of what was the peak attendance pre-Covid which was 484. Even after the removal of all Covid restrictions (possibly on June 15), we believe that our attendance will be far smaller than our pre-Covid days. We are anticipating a decrease of 20% from our pre-Covid days in the long run. This is evident in our decrease in giving.

Though the project will decrease some of our parking, we will have enough parking on our own property to meet the city required ratio. Much of the lost parking is recoverable as the multi-use space will have roll up doors for cars to enter.

In addition, the church still has agreements with two of our neighbors that give access to 150 more parking stalls with more if necessary. As such, there will be no negative impact on any neighbors with parking burdens.



## II. Brief Overview of Living Hope Community Church

### Overview

Living Hope Community Church is a non-denominational evangelical church. The founding and senior pastor is Steve Chang. The church is comprised of mostly Asian-Americans, though all services and meetings are conducted in English. The church has grown since moving to Brea in 2010 and has embraced making Brea a city to call home.

Since moving to Brea, Living Hope Community Church has made Brea a city to call home. In addition to people gathering in Brea to worship, shop and live, the church has participated in the life of Brea in many ways including and not limited to:

- Helped lead Feed Brea
- Participated yearly in Love Brea
- Opened its facility as a Polling Place
- Opened its parking lot as a police torch relay
- Hosted and actively participate in the work of the Brea Ministerial Association
- Hosted three Blood Drives during the pandemic
- Worked with Brea Unified School District (through Living Hope Community Partnership) to award the Living Hope scholarships to sixth graders, giving food gift cards to families in need, and financially supporting after school programs.

### Attendance:

Our actual Pre-Covid Attendance (January – February 2020) were:

- During the 8:00 – 9:00 am service, there were 38 people on campus (34 adults + 4 kids/youth)
- During the 9:30 – 10:15 service, there were 484 people on campus (284 adults + 200 kids/youth)
- During the 11:30 – 12:15 service, there were 308 people on campus (264 adults + 44 kids/youth)
- **At the peak hour (9:30 – 10:15 am), we had 484 people on campus.**

Currently (April 2021), our actual average attendance is:

- During the 9:30 – 10:15 service, there are 194 people on campus (152 adults + 42 kids/youth)
- During the 11:30 – 12:15 service, there are 214 people on campus (171 adults + 43 children)
- **At the peak hour (9:30 – 10:15 am), we have 194 people on campus.**

Looking forward to 2022, we are preparing to reach about 80% of our pre-Covid numbers:

- During the 9:30 – 10:15 service, we anticipate 387 people on campus.
- During the 11:30 – 12:15 service, we anticipate 202 people on campus.
- **At the peak hour (9:30 – 10:15 am), we anticipate 387 people on campus.**

Staff:

- Steve Chang - Senior Pastor (full-time)
- James Lee - Pastor of College Ministry and Church Operations (full-time)
- Ben Tabbal - Associate Pastor (full-time)
  
- Chris Chi - Family Life Pastor (part-time)
- Rachel Cho - Interim Assistant Children's Director (part-time)
- Elizabeth Chung - Interim Children's Director (part-time)
- Ben Clement - Associate Worship Director (part-time)
- Esther Do – Administrator (part-time)
- Jeannie Han - Site Administrator (part-time)
- Philip Han - Interim Director of Youth Ministry (part-time)
- Robby Jung - Worship Director (part-time)
- Hannah Kim - Outreach Director (part-time)
- Curtis Lee - Technical Director (part-time)
- Harry Lee – Assistant College Director (part-time)
- Joohee Lee – Early Childhood Ministry Director (part-time)
- Julie Pak - Early Childhood Ministry Associate Director & VBS Director (part-time)
- Heidi Park - Assistant Administrator (part-time)
- Robin Yi - Interim Assistant Director of Youth Ministry (part-time)

**III. Operating Hours**

<b>Day</b>	<b>Hours</b>	<b>Event</b>	<b>Attendance</b>
Monday		Office closed	
Tuesday	9:00 am – 4:00 pm 7:00 pm – 8:30 pm 8:30 pm – 9:30 pm	Office hours Meetings Prayer meeting (monthly)	3-6 staff 10-20 people 30-50 people
Wednesday	9:00 am – 4:00 pm	Office hours	3-6 staff
Thursday	9:00 am – 4:00 pm	Office hours	3-6 staff
Friday	9:00 am – 4:00 pm 7:00 pm – 10:00 pm 7:00 pm – 10:00 pm	Office hours Youth meeting College meeting	3-6 staff 50-70 people 20-30 people
Saturday	6:30 am – 7:30 am 9:00 am – 11:00 am	Prayer meeting Praise practice	5-20 people 5-8 people
Sunday (current*)	9:30 am – 10:35 am 11:30 am – 12:30 pm	9:30 service (adults + kids) 11:30 service (adults + kids)	194 people 214 people
Sunday (pre-Covid**)	8:00 am – 9:00 am 9:30 am – 10:35 am 11:30 am – 12:30 pm	8:00 service (adults + kids) 9:30 service (adults + kids) 11:30 service (adults + kids)	38 people 484 people 308 people
Sunday (post-Covid projection***)	9:30 am – 10:35 am 11:30 am – 12:30 pm	9:30 service (adults + kids) 11:30 service (adults + kids)	387 people 202 people

\*April of 2021

\*\*January – February of 2019

\*\*\*80% of pre-Covid numbers

## REVOCABLE PARKING LICENSE AGREEMENT

This REVOCABLE PARKING LICENSE AGREEMENT (this "Agreement") is made and entered into as of August 8, 2017, by and between TEACHERS INSURANCE & ANNUITY ASSOCIATION OF AMERICA ("Licensor"), and LIVING HOPE COMMUNITY CHURCH OF WALNUT VALLEY, a California nonprofit corporation.

### RECITALS:

A. Licensor is the owner of that certain commercial/industrial building located at 1075 W. Lambert Road, Brea, California (the "Building"). The Building and the land (which is improved with landscaping, surface parking facilities and other improvements) upon which the Building is situated, as the same are generally depicted in the site plan attached hereto as Exhibit "A" are referred to herein as the "Project."

B. Licensor and Licensee desire to enter into this Agreement to permit Licensee to, on a temporary basis, use the Parking Area to accommodate parking of cars ("Permitted Vehicles") from 9:00 a.m. to 2:00 p.m. on Sundays by members of Licensee's congregation, in accordance with the terms and conditions provided herein. Permitted Vehicles shall not include commercial trucks or other commercial vehicles.

**NOW, THEREFORE**, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the parties, Licensor and Licensee hereby agree as follows:

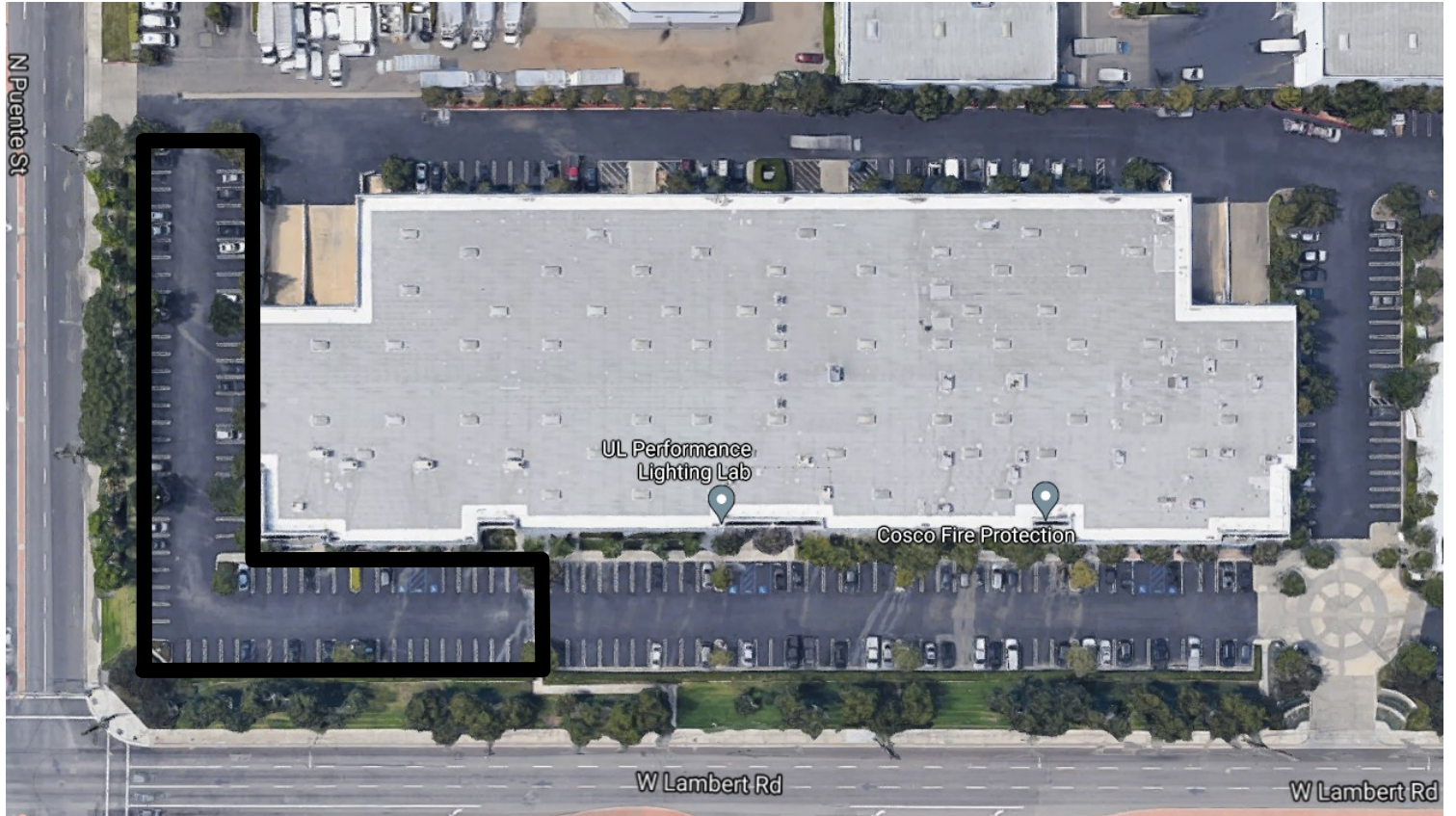
### AGREEMENT:

#### 1. Use and Maintenance of Parking Area.

1.1. **Permitted Use.** Subject to the terms and conditions provided herein, Licensor hereby grants Licensee a revocable license to use, on a non-exclusive basis in common with the other users of the Project, that portion of the surface parking lot shown generally on Exhibit "A" attached hereto (the "Parking Area") to temporarily park, subject to space limitations within the Parking Area, up to a maximum of fifty (50) Permitted Vehicles at any one time, each Sunday from 9:00 a.m. to 2:00 p.m. only (the "Permitted Parking Hours"). Licensee acknowledges and agrees that Licensee shall have no right to park or otherwise use the Parking Area or any portion of the Project at any other time other than the Permitted Parking Hours. All moving of vehicles into or out of the Project shall be done only at such time, and through such points and paths of ingress and egress and in such manner as Licensor shall designate.

1.2. **Maintenance and Quality Standards.** Licensee agrees, as a material part hereof, that Licensee shall, during Licensee's use thereof, maintain the Parking Area, in a safe, clean, orderly, professional and first class condition in compliance with all applicable laws and any rules or regulations Licensor may impose as Licensor deems necessary. At all times during the License Term, Licensee shall utilize the Parking Area prudently and in a manner consistent with sound business practices. During Licensee's use thereof, Licensee shall cause to be provided (or at Licensor's sole option, Licensor shall cause to be provided at Licensee's sole cost and expense): (i) removal of all trash and debris, and (ii) immediate cleaning of spills or leaks of automobile fluids or otherwise within the Parking Area with appropriate cleaning agents, so that the surface of the Parking Area shall remain free from oil,

Exhibit A



grease, gasoline, coolant, water, soap, rubbish, debris and other such materials and/or substances. If it is determined by Licensor that the Project or Parking Area has been adversely affected as a result of and/or relating to Licensee's use thereof, Licensee shall bear the costs of remediation.

1.3. **Licensor Self-Help.** In the event Licensee shall fail to maintain the Parking Area as required herein, Licensor shall have the right to provide such services and any charge or cost incurred by Licensor in connection therewith shall be due and payable by Licensee upon receipt by Licensee of a written statement of the cost thereof from Licensor. Failure of Licensee to comply with any of the maintenance or cleaning obligations set forth herein shall be deemed to be a material default under this Agreement.

1.4. **Prohibited Uses.** Licensee hereby covenants not to: (i) display signs (except as approved by Licensor in its sole discretion), (ii) use the Parking Area for any purposes other than those expressly permitted pursuant to this Agreement, (iii) conduct any business from the License Area; (iv) wash, perform maintenance on or service any vehicle within the Parking Area; (v) use, or permit to be used, any sound broadcasting or amplifying device; (vi) perform, or allow any employee, agent or invitee to perform, any act or carry on any practice that may, in Licensor's sole discretion, (a) damage the Parking Area or any other part of the Project, or (b) disturb any other tenant or other person in the Project; (vii) allow the Parking Area to be used for any improper, unlawful or objectionable purpose, (viii) maintain or permit any nuisance in, on or about the Parking Area, (ix) permit any of the Licensee Parties (as defined below) to use the Parking Area at any time other than during the Permitted Parking Hours, (x) permit or suffer any property which serves as collateral or security for any indebtedness to be parked within the Parking Area, or (xi) store gasoline or other automobile fluids in the Parking Area (other than those fluids actually and properly contained in the vehicles parked therein). In addition, Licensee shall not cause or permit any "Hazardous Substance," as defined by applicable laws, to be kept, maintained, used, stored, produced, generated or disposed of (into the sewage or waste disposal system or otherwise) on or in the Parking Area by Licensee or Licensee's agents, employees, contractors, invitees, assignees or sublessees. Licensee hereby acknowledges and agrees that any vehicles parked in the Parking Area outside of the Permitted Parking Hours may be subject to towing by Licensor or Licensor's agent, at the sole cost of the vehicle owner (and/or at the cost of Licensee, jointly and severally with the vehicle owner, to the extent such vehicle owner is a Licensee Party).

2. **Term.** The term of this Agreement shall be on a month-to-month basis ("License Term") and shall be limited to the Permitted Parking Hours only. The License Term shall commence on August 13, 2017 (the "Commencement Date"), and either party may terminate this Agreement at any time, without cause, upon not less than thirty (30) days written notice to the other party. The License Term shall be restricted solely to the Permitted Parking Hours. In the event of any default by Licensee hereunder, Licensor may, in addition to any and all other rights or remedies available to Licensor hereunder, at law or in equity, immediately terminate this Agreement upon notice to Licensee.

3. **"As-Is" Condition of Parking Area.** Licensee acknowledges that Licensee has examined and is fully familiar with the condition of the Parking Area and shall accept the Parking Area in its presently existing, "as-is" condition, and Licensor shall not be obligated to provide or pay for any improvement work or services related to the improvement of the Parking Area or any other portion of the Project. Licensor acknowledges that neither Licensor nor any agent of Licensor has made any representation or warranty regarding the condition of the Parking Area or the Project or with respect to the suitability of any of the foregoing for the Licensee's use.

4. **No Services.** Licensee acknowledges that Licensor will not provide any services or security. Licensee shall, at Licensee's expense, provide any security it deems necessary to secure the Parking Area during the License Term.

5. **License Fee.** Commencing the Commencement Date, Licensee shall pay to Licensor a fee in the amount of \$500.00 per month ("License Fee") for use of the Parking Area, as set forth herein. Payment of the Licensee Fee shall be due in advance on or before the first day of each month and shall be in the form of a check made payable to Licensor. Licensee shall not be entitled to any refund of the Licensee Fee in the event that Licensee does not use the Parking Area during all or any portion of the License Term for any reason whatsoever.

6. **Security Deposit.** Upon execution of this Agreement, Licensee shall deposit with Licensor a security deposit (the "Security Deposit") in the amount of \$0.00, as security for the faithful performance by Licensee of all of its obligations under this Agreement. If Licensee defaults, Licensor may, but shall not be required to apply all or any part of the Security Deposit for the payment of any applicable fees, costs incurred or any other sum in default. Any unapplied portion of the Security Deposit shall be returned to Licensee within sixty (60) days following the expiration of the License Term. Licensee shall not be entitled to any interest on the Security Deposit. Licensee hereby waives the provisions of Section 1950.7 of the California Civil Code, or any successor statute.

7. **Licensor's Right to Enter.** Licensor shall have the right at any time to enter or otherwise make the Parking Area available for inspection or review by Licensor's agents and invitees.

8. **Transferability of License.** The parking rights set forth in this Agreement are personal to Licensee, and Licensee shall not assign, convey, or otherwise transfer said rights in any manner whatsoever without Licensor's prior written consent, which consent may be granted or denied at Licensor's sole discretion. Any attempt by Licensee to do so shall be null and void and, at Licensor's election, shall constitute a material default hereunder. Licensor may freely assign and/or transfer its interest in this Agreement at any time without the consent of Licensee, whereupon Licensor shall automatically be released from its executory obligations under this Agreement.

9. **Waiver of Claims and Indemnity.** To the fullest extent permitted by law, Licensee shall indemnify, defend and hold and save harmless Licensor and its members, managers, partners, beneficiaries, trustees, officers, employees, and agents ("Licensor Parties") from and against any and all liability, claims, damages, costs and expenses, including, without limitation, attorneys' fees (collectively, "Claims"), resulting from or in connection with use of the Parking Area by Licensee and/or any of Licensee's employees, agents, representatives, invitees and/or guests (each, a "Licensee Party" and collectively, the "Licensee Parties"), or relating in any way to this Agreement. To fullest extent permitted by law, Licensee waives all claims against Licensor and the Licensor Parties for injury to persons, or damage to property or to any other interests of Licensee sustained by Licensee or any person claiming through Licensee resulting from any occurrence in or upon the Parking Area, or relating in any way to this Agreement. Without limitation, all of Licensee's personal property and all automobiles which may at any time be located at the Parking Area shall be at Licensee's sole risk. Licensee's indemnification obligations hereunder shall survive the expiration or earlier termination of this Agreement.

10. **Insurance.** Licensee shall maintain in full force and effect during the term of this Agreement commercial general liability insurance with respect to injury, death and property damage or loss occurring at the Parking Area or arising out of Licensee's use of the Parking Area or otherwise arising out of any act or occurrence at the Parking Area in a minimum amount of \$1,000,000.00 per occurrence with an aggregate of \$2,000,000.00 per year. Licensee shall at all times during the term of this Agreement carry Workers' Compensation insurance for all Licensee's employees as required by law, together with Employers Liability coverage with a limit of not less than \$1,000,000. In addition, Licensee shall procure and maintain, at Licensee's sole expense, any additional type of insurance in connection with Licensee's use of the Parking Area and the obligations assumed by Licensee under this Agreement, in the amounts and with the types of coverage as Licensor may require, from time to time, specifically including, without

limitation, environmental hazard insurance coverage acceptable to Licensor. Such policies shall name Licensor, and such other parties as Licensor may designate, as additional insureds and Licensee shall provide certificates of insurance and/or endorsements showing that the Licensor and its designated parties have been named as additional insureds on Licensee's insurance policy. Licensee hereby waives all subrogation rights of its insurance carriers in favor of Licensor. The minimum limits of policies of insurance required of Licensee under this Agreement shall in no event limit the liability of Licensee under this Agreement. Licensee's insurance shall be primary insurance as to all claims thereunder and shall provide that any insurance obtained by Licensor is excess and is non-contributing with the insurance requirement of Licensee. Licensee's insurance shall be issued by a company acceptable to Licensor and shall otherwise be in form and substance acceptable to Licensor. Licensee's insurance obligations hereunder shall survive the expiration or earlier termination of this Agreement.

11. **Inspection of Parking Area.** Immediately upon demand therefor from Licensor, Licensee shall pay Licensor for any injury or damage to the Parking Area and/or the Project that may occur (or may have occurred) in connection with Licensee's use or occupancy of the Parking Area.

12. **Notices.** All notices, approvals or other communications given or required to be given by either party to the other hereunder ("Notices") shall be in writing, shall be sent by United States certified or registered mail, postage prepaid, return receipt requested, or delivered by a nationally recognized overnight courier, or delivered personally to Licensor or Licensee at the following addresses, or to such other place as Licensor or Licensee may from time to time designate in a Notice to the other:

Licensor: Cushman & Wakefield  
11845 East Telegraph Road  
Santa Fe Springs, CA 90670  
Attn: Property Manager

with a copy to:

TIAA-CREF  
4675 MacArthur Court, Suite 1100  
Newport Beach, CA 92660  
Attn: Erik Sobek

and

Allen Matkins Leck Gamble Mallory & Natsis LLP  
1900 Main Street, Fifth Floor  
Irvine, CA 92614  
Attention: Drew M. Emmel, Esq.

Licensee: Living Hope Community Church of Walnut Valley  
1215 W. Lambert Road  
Brea, CA 92821  
Attn: Peter Park  
Tel No. (310) 595-5306  
[parkpeter@gmail.com](mailto:parkpeter@gmail.com)

13. **Licensor's Liability.** It is expressly understood and agreed that the liability of Licensor and the Licensor Parties hereunder (including any successor owner hereunder) shall be limited solely and



exclusively to the equity interest of Licensor in and to the Parking Area, and Licensor and the Licensor Parties shall not have any personal liability therefor.

14. **Estoppel Certificates.** Within ten (10) days following a request in writing by Licensor, Licensee shall execute and deliver to Licensor an estoppel certificate, which, as submitted by Licensor, shall be in the form required by Licensor (or such other form as may be required by any prospective mortgagee or purchaser of the Project, or any portion thereof), and shall also contain any other information requested by Licensor or Licensor's mortgagee or prospective mortgagee. Licensee shall execute and deliver whatever other instruments may be required for such purposes. Failure of Licensee to timely execute and deliver such estoppel certificate or other instruments shall constitute an acceptance of the Parking Area and an acknowledgment by Licensee that statements included in the estoppel certificate are true and correct, without exception.

15. **Late Fee.** If any installment of the License Fee or any other sum due from Licensee shall not be received by Licensor or Licensor's designee within five (5) days after said amount is due, or if any check delivered to Licensor by Licensee shall be returned for insufficient funds, then Licensee shall pay to Licensor a late charge equal to ten percent (10%) of the amount due. In addition to the late charge, in the event any check is returned for insufficient funds, Licensee shall pay to Licensor, as additional rent, the sum of \$100.00. Licensor's right to require such late fee shall be in addition to all of Licensor's other rights and remedies hereunder or at law. In addition to the late charge described above, any amounts owing hereunder which are not paid when due shall thereafter bear interest until paid at a rate equal to ten percent (10%) per annum, provided that in no case shall such rate be higher than the highest rate permitted by applicable law.

16. **Miscellaneous.** No delay or omission of Licensor to exercise any right or remedy shall be construed as a waiver of any such right or remedy or of any default. No waiver by Licensor of any breach of this Agreement by Licensee shall constitute a waiver of any other breach. Any amount due to Licensor that is not paid when due shall bear interest at the maximum rate allowable under law. In the event of any legal action taken or proceeding brought to enforce the provisions hereof, the prevailing party shall be entitled to recover its reasonable attorneys' fees and costs incurred in connection therewith. Time is of the essence of this Agreement and each of its provisions. This Agreement shall be construed and enforced in accordance with the laws of the State of California. It is understood and agreed that there are no oral agreements between the parties hereto affecting this Agreement and this Agreement supersedes and cancels any and all previous negotiations, arrangements, agreements and understandings, if any, between the parties hereto.

17. **CASp.** For purposes of Section 1938 of the California Civil Code, Licensor hereby discloses to Licensee, and Licensee hereby acknowledges, that the Parking Area has not undergone inspection by a Certified Access Specialist (CASp).

18. **ERISA.** Licensee represents and warrants to Licensor that (a) Licensee is not an "employee benefit plan" as defined in Section 3(3) of the Employee Retirement Income Security Act of 1974 ("ERISA"), which is subject to Title I of ERISA, or a "plan" as defined in Section 4975(e)(1) of the Internal Revenue Code of 1986, which is subject to Section 4975 of the Internal Revenue Code of 1986; and (b) the assets of Licensee do not constitute "plan assets" of one or more such plans for purposes of Title I of ERISA or Section 4975 of the Internal Revenue Code of 1986; and (c) Licensee is not a "governmental plan" within the meaning of Section 3(32) of ERISA, and assets of Licensee do not constitute plan assets of one or more such plans; and (d) transactions by or with Licensee are not in violation of state statutes applicable to Licensee regulating investments of and fiduciary obligations with respect to governmental plans.

19. **OFAC Compliance.**

(a) **Certification.** Licensee certifies, represents, warrants and covenants that:

(i) It is not acting and will not act, directly or indirectly, for or on behalf of any person, group, entity, or nation named by any Executive Order or the United States Treasury Department as a terrorist, "Specially Designated National and Blocked Person", or other banned or blocked person, entity, nation or transaction pursuant to any law, order, rule, or regulation that is enforced or administered by the Office of Foreign Assets Control; and

(ii) It is not engaged in this transaction, directly or indirectly on behalf of, or instigating or facilitating this transaction, directly or indirectly on behalf of, any such person, group, entity or nation.

(b) **Indemnity.** Licensee hereby agrees to defend (with counsel reasonably acceptable to Licensors), indemnify and hold harmless Licensors and the Licensors' present and future partners, beneficiaries, officers, directors, trustees, shareholders, representatives, agents and employees, and their respective partners, heirs, successors and assigns, from and against any and all claims arising from or related to any such breach of the foregoing certifications, representations, warranties and covenants.

20. **Separate Account.** Notwithstanding anything contained in the Amended Lease or in any other document executed in connection with the transaction contemplated hereby to the contrary, any liability of Licensors shall be satisfied solely from the assets and properties of the Teachers Insurance and Annuity Association of America's Real Estate Account established as a separate investment account of TIAA under New York law on February 22, 1995, and under the regulation of the State of New York Insurance Department (the "Separate Account") (including all assets and properties allocated to or held for the account of the Separate Account), and in no event shall any recourse be had to any assets or properties held by TIAA in its general investment account or in any other of its existing or future separate accounts other than the Separate Account. The provisions of this Section 20 will survive the expiration or earlier termination of the Amended Lease.

**[NO FURTHER TEXT ON THIS PAGE;  
SIGNATURES ON NEXT PAGE]**

DATED this 8<sup>th</sup> day of August, 2017.

"LICENSOR":

TEACHERS INSURANCE & ANNUITY  
ASSOCIATION OF AMERICA

By: 

Its: Erik Sobek  
Senior Director

"LICENSEE":

LIVING HOPE COMMUNITY CHURCH OF WALNUT  
VALLEY, a California nonprofit corporation

By: 

Its: SENIOR PASTOR / PRESIDENT

By: \_\_\_\_\_

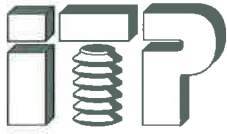
Its: \_\_\_\_\_

**EXHIBIT A**

**OUTLINE OF THE PROJECT AND PARKING AREA**

The site plan which follows is intended solely to identify the general location of the Parking Area, and should not be used for any other purpose. All areas, dimensions and locations are approximate, and any physical conditions indicated may not exist as shown.

[TO BE ATTACHED]



**Industrial Threaded Products, Inc.®**  
**Corporate Headquarters**

515 N. Puente Street, Brea, CA 92821  
(562) 802-4626 (800) 976-BOLT (2658) - Fax (562) 802-4641

112027 Arrow Route  
Rancho Cucamonga, CA 91739  
(909) 466-9445  
Fax (909) 945-2696

1832 G Street  
Fresno, CA 93706  
1 (800) 976-BOLT  
Fax 1 (800) 646-4249

2145 S. 11<sup>th</sup> Avenue, #130  
Phoenix, AZ 85007  
1 (800) 976-BOLT  
Fax 1 (800) 646-4249

ATTACHMENT E

Thursday, March 26, 2012

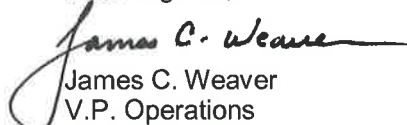
Living Hope Community Church  
1215 W. Lambert Road  
Brea CA 92821

RE: Authorization for Industrial Threaded Products® Parking Use.

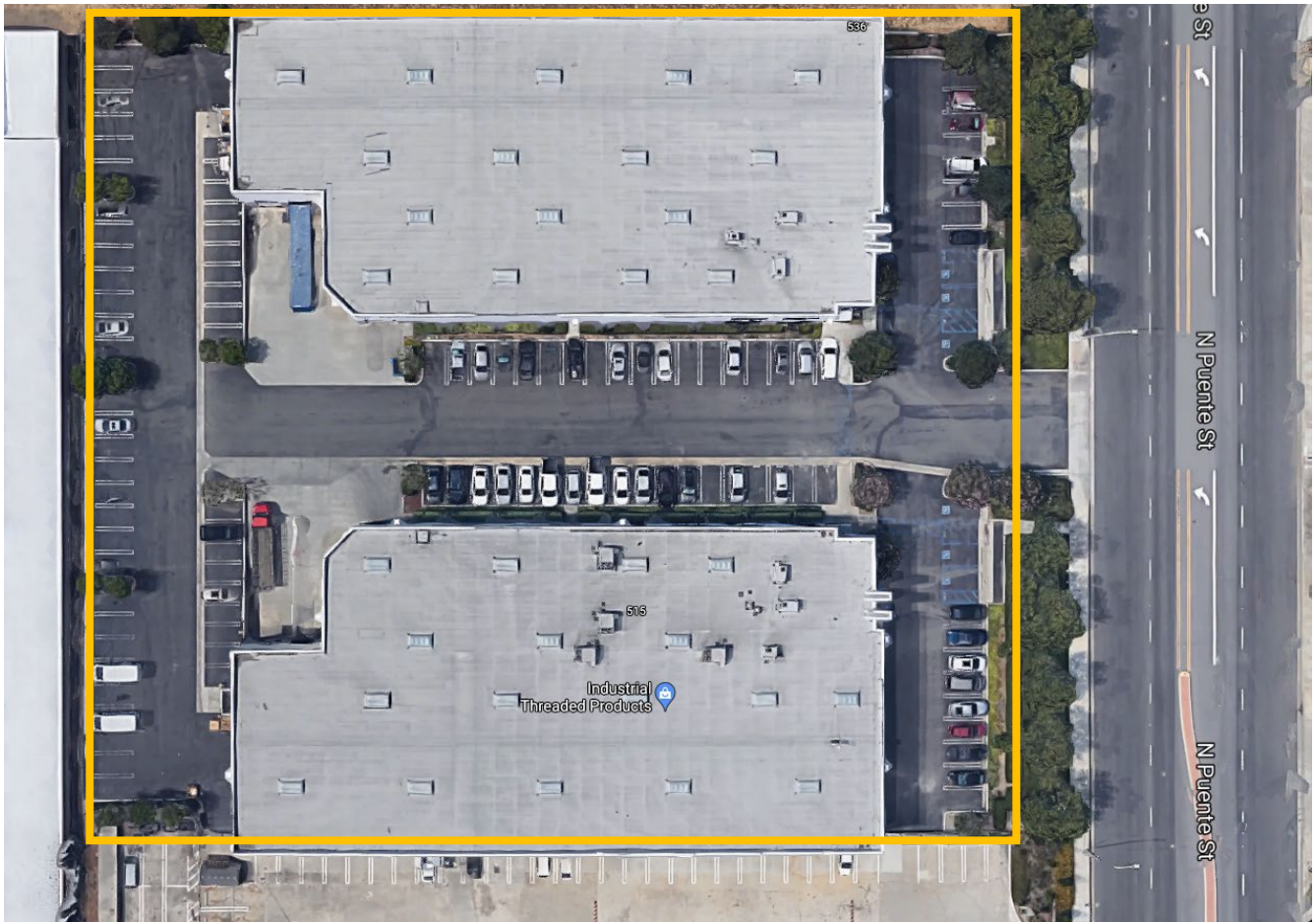
This letter is to grant Living Hope Church authorization to utilize ITP's® parking lot for overflow parking as required between the hours of 5:00 p.m.- 5:00 a.m. and during National Holidays & Weekends. The authorization is subject to revocation at ITP's® discretion & notification of Living Hope should the arrangement become an issue for either party.

The extension of this arrangement does not carry any warranties or guarantees and Living Hope Community Church agrees to use the parking lot portion of the property at their own risk to person or property.

Best Regards,

  
James C. Weaver  
V.P. Operations  
[clayw@itpbolt.com](mailto:clayw@itpbolt.com)

515 N. Puente Street



**RESOLUTION NO. PC 10-10**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA GRANTING CONDITIONAL USE PERMIT NO. CUP 10-04, A REQUEST TO ESTABLISH A CHURCH IN THE M-1 (PD) LIGHT INDUSTRIAL (PRECISE DEVELOPMENT) ZONE, SUBJECT TO CONDITIONS AS SET FORTH HEREIN**

**A. RECITALS.**

(i) The Planning Commission of the City of Brea has heretofore held a duly noticed public hearing, as required by law, on Conditional Use Permit No. CUP 10-04, a request to establish a church within an existing building on an industrial site, in accordance with Chapters 20.252 and 20.408.030 of the Brea Zoning Code.

(ii) The subject property is located at 1215 West Lambert Road and is legally described as a portion of Map Book 296, Page 39, Block 391, Parcel 32, as shown in the latest records of the County of Orange Tax Assessor.

(iii) The project proponent is: Richard Brumfield, PO Box 6108, Orange, CA 92618.

(iv) The property is zoned M-1(PD), Light Industrial (Precise Development) and has a General Plan land use designation of Light Industrial.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION.**

**NOW, THEREFORE, BE IT FOUND, DETERMINED, AND RESOLVED,** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.
2. It is hereby found that the Conditional Use Permit application for the location set forth is authorized by Sections 20.252 and 20.408.030 of the Brea Zoning Ordinance, as amended.

3. The Planning Commission further finds as follows:

a. Finding: The use with any conditions to be imposed is necessary or desirable for the development of the community, in harmony with the various elements or objectives of the General Plan, and not detrimental to existing uses or to uses specifically permitted in the zone in which proposed use is to be located.

Fact: The proposed project is consistent with General Plan Policy CD-1 by providing a balance of land uses to meet the present and future needs of all residents. Churches provide beneficial community and social services to the community. Furthermore, proposed uses will be located primarily inside the buildings with minimal outdoor activities and will not be detrimental to the existing uses specifically permitted in the zone.

b. Finding: The site is adequate in size and shape to accommodate the proposed development and all of the yards, setbacks, walls or fences, landscaping, and other features required to bring about conformity with other elements in the neighborhood.

Fact: The site was developed and will be improved in accordance with the City's Zoning requirements to accommodate a church use. Further, the applicant is required to comply with the Building & Safety Code to assure public safety for any interior improvements.

c. Finding: The proposed site relates to streets and highways which are properly designed and improved to carry the type and quantity of traffic generated or to be generated by the proposed development.



Fact: The site is served by and accessed along Lambert Road, a fully improved primary arterial, and Puente Street, a fully improved secondary arterial, and are properly designed to carry the traffic generated by the existing development and the proposed use.

**d.** Finding: That with the conditions stated in the permit, the proposed use will not adversely affect the public health, safety, or general welfare.

Fact: Church operations will be conducted mainly within the building. As proposed, the interior improvements will be in compliance with all applicable Building and Fire Department code standards assuring the project will not adversely affect the health, safety, and general welfare of the community.

**4.** The Planning Commission hereby finds and determines that the project identified above in this Resolution is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) of 1970, as amended, and the Guidelines promulgated thereunder, pursuant to Section 15601(b)(3) of said act.

**5.** Conditional Use Permit No. CUP 10-04 is hereby approved, subject to the conditions as set forth herein:

- a)** The project shall occur in substantial conformance with the plans submitted to the Planning Commission and dated April 27, 2010 which includes a business description, site plan, floor plan, and weekly parking schedule on file with the Planning Division, the conditions contained herein, and all applicable City regulations.
- b)** Seating within the adult worship area shall not exceed 296 seats. All church services shall occur in the adult worship area as outlined in the Business Description. Any expansion to the adult worship area and/or church operations shall require review and approval of the Planning Commission.
- c)** No academic school activities shall occur (e.g. elementary/junior/high school/daycare).

- d) The applicant shall be responsible for assuring that adequate on-site parking is available for its activities at all times. Scheduling and attendance of said activities shall be consistent with the descriptions provided to the Planning Commission and contained in the Business Description.
- e) The applicant shall provide any necessary modifications to said scheduling and/or attendance for activities if and when necessary, should any parking impacts result at the site, as determined by the City Planner.
- f) The applicant shall remove all existing chain link fencing and replace with wrought iron fencing prior to issuance of Certificate of Occupancy.
- g) The applicant shall submit a building exterior rehabilitation plan listing any modifications to the building exterior for the review and approval by the City Planner, prior to issuance of Certificate of Occupancy. At a minimum, said plan shall include painting of exterior facades and canopies, as well as re-stripping of the existing parking stalls.
- h) The applicant shall submit landscape and irrigation plans providing street trees and enhanced landscaping along Lambert Road and Puente Street for the review and approval by the City Planner prior to issuance of Certificate of Occupancy.
- i) The applicant shall have limited outdoor activities, consistent with the project description submitted and on file in the Planning Division. Any modifications to hold services or any other church activities outdoors will require review and approval by the City Planner.
- j) The applicant shall work with the Engineering Division to ensure that the existing sidewalks on Puente Street and Lambert Road are adequate to serve the new use and any damaged sidewalk shall be replaced to the satisfaction of the City Engineer, prior to issuance of Certificate of Occupancy.

6. The Secretary of this Commission shall certify to the adoption of this Resolution.

RESOLUTION NO. PC 10-

Page 5

Applicant: Richard Brumfield for Living Hope Church  
CUP 10-04

**ADOPTED AND APPROVED** this 27<sup>th</sup> day of April, 2010.

\_\_\_\_\_  
Chairman, Planning Commission

I, David Crabtree, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 27<sup>th</sup> day of April, 2010, and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 27<sup>th</sup> day of April, 2010, by the following votes:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST: \_\_\_\_\_  
Secretary, Planning Commission

CITY OF BREA  
**notice of public hearing**

**TO:** Property Owners within a 500-Foot Radius  
**FROM:** City of Brea, Community Development Department  
**SUBJECT:** AMENDMENT TO CONDITIONAL USE PERMIT (CUP) NO. 10-04

NOTICE IS HEREBY GIVEN, pursuant to State Law, that a public hearing will be held by the Planning Commission to determine whether or not the subject request shall be approved under the provisions of State Law and the Brea City Code as follows:

**DATE AND TIME OF HEARING:** Tuesday, June 22, 2021, 7:00 p.m.  
All interested persons may appear and be heard at that time.

**PLACE OF HEARING:** Brea Civic & Cultural Center, Council Chambers  
1 Civic Center Circle, Brea, CA 92821

PURSUANT TO THE LOCAL EMERGENCY CONCERNING THE COVID-19 VIRUS DECLARED BY THE CITY COUNCIL OF THE CITY OF BREA ON MARCH 19, 2020, AND EXECUTIVE ORDER N-29-20 ISSUED BY GOVERNOR GAVIN NEWSOM ON MARCH 18, 2020, THE PLANNING COMMISSION MEETING MAY BE CONDUCTED IN WHOLE OR IN PART BY TELECONFERENCE.

FURTHER INFORMATION MAY BE OBTAINED BY CALLING THE PLANNING DIVISION AT (714)990-7674 OR BY EMAILING [planning@cityofbrea.net](mailto:planning@cityofbrea.net). ALL PERSONS WISHING TO PARTICIPATE BY TELECONFERENCE SHOULD CONTACT THE CITY NO LATER THAN NOON ON JUNE 22, 2021.

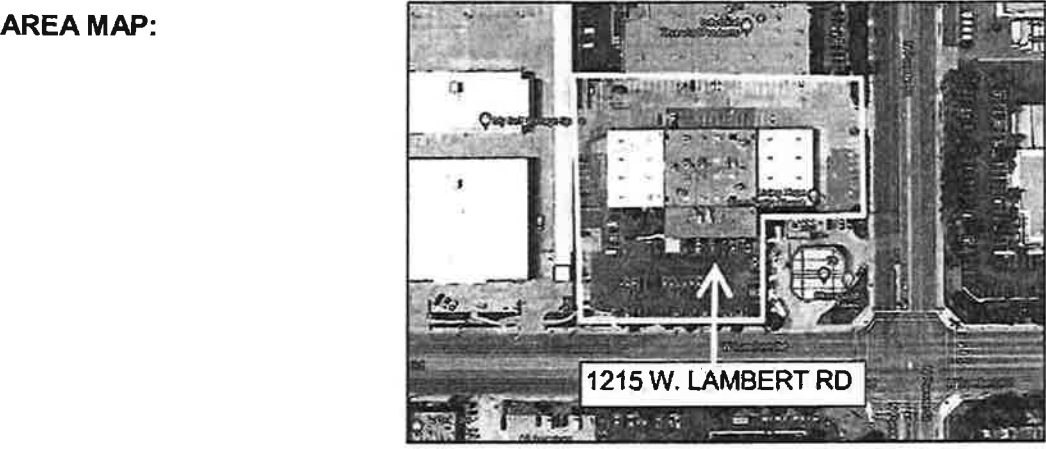
**REQUEST:** On April 27, 2010, Conditional Use Permit (CUP) 10-04 was approved to allow an existing 21,333 square-foot building, that included a 6,711 square-foot covered parking area, to be converted to a church/religious institution. This amendment seeks to enclose the covered parking area to be used as an assembly area for services. The enclosing of this area would result in the reduction of on-site parking from 175 spaces to 152 spaces.

**PROPERTY INVOLVED:** 1215 W. Lambert Rd., Brea, CA 92821

**APPLICANT:** James Thayer  
9891 Irvine Center Drive #140, Irvine, CA 92618

**PROPERTY OWNER:** Living Hope Community Church  
1215 W. Lambert Rd., Brea, CA 92821

**ENVIRONMENTAL INFORMATION:** The City of Brea, in accordance with the California Environmental Quality Act (CEQA), has determined that the proposed project is exempt under Section 15301. The project qualifies for this exemption as the enclosing of the existing 6,711 square-foot canopy would be considered a negligible expansion of an existing or former use.



IF YOU CHALLENGE PROJECT AND RELATED ENVIRONMENTAL DETERMINATIONS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE, DELIVERED TO THE COMMISSION AT, OR PRIOR TO, THE PUBLIC HEARING.  
FOR FURTHER INFORMATION ON THIS SUBJECT, PLEASE CONTACT THE PLANNING DIVISION AT (714) 990-7674.

COMMUNITY DEVELOPMENT DEPARTMENT  
  
Jason Killebrew, City Planner

## ATTACHMENT H

## Notice of Exemption

## Appendix E

**To:** Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044

County Clerk

County of: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**From:** (Public Agency): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

(Address)

Project Title: \_\_\_\_\_

Project Applicant: \_\_\_\_\_

Project Location - Specific:

Project Location - City: \_\_\_\_\_ Project Location - County: \_\_\_\_\_

Description of Nature, Purpose and Beneficiaries of Project:

Name of Public Agency Approving Project: \_\_\_\_\_

Name of Person or Agency Carrying Out Project: \_\_\_\_\_

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☐ Categorical Exemption. State type and section number: \_\_\_\_\_
- ☐ Statutory Exemptions. State code number: \_\_\_\_\_

Reasons why project is exempt:

Lead Agency \_\_\_\_\_

Contact Person: \_\_\_\_\_ Area Code/Telephone/Extension: \_\_\_\_\_

**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project?      Yes      No

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Title: \_\_\_\_\_

Signed by Lead Agency      Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.  
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: \_\_\_\_\_

## **TECHNICAL BACKGROUND**

<b>Case No:</b>	PLN-2021-00025
<b>Property Location:</b>	1215 W. Lambert Road
<b>Parcel Size:</b>	2.47 acres
<b>Building Size:</b>	Existing: 21,333 SF / Proposed New: 6,711 SF
<b>Applicant:</b>	James Thayer Architect, rep. for Living Hope Community Church  1215 W. Lambert Road Brea, CA 92821
<b>General Plan Designation:</b>	Light Industrial
<b>Zoning Designation:</b>	Light Industrial (M-1)
<b>Adjacent Zoning</b>	
<b>North:</b>	M-1
<b>South:</b>	C-P (Commercial Administrative and Professional)
<b>West:</b>	M-1
<b>East:</b>	M-1
<b>Site and Neighborhood Characteristics:</b>	The site is located at the northwest corner of North Puente Street and West Lambert Road. Adjacent properties on the east, west, and north are zoned M-1, and to the south across Lambert Road Street is a C-P zoned property.
<b>Public Hearing Notices and Outreach:</b>	Legal Notice was published in the Brea Star Progress on June 10, 2021, and approximately 89 notices were sent to all property owners within a 500-foot radius of the project.

City of Brea

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**PLANNING COMMISSION COMMUNICATION**

**TO:** Honorable Chair and Planning Commission

**DATE:** 06/22/2021

**SUBJECT:** **PLANNING DIVISION UPDATES**

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**RESPECTFULLY SUBMITTED**

Jason Killebrew, City Planner

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**Attachments**

A. Planning Division Updates

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# **CITY OF BREA**

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## Major Projects Summary

June 15, 2021

City of Brea Planning Division



## CONTENTS

- **DEVELOPMENT CONTACT REPORT**
- **IN PROCESS/REVIEW**
  - AERA ENERGY
  - BREA MALL MIXED USE PROJECT
  - BREA IMPERIAL PLAZA
  - VERITAS CLASSICAL PLAZA
  - TRANSWESTERN IMPERIAL/BERRY PROJECT
  - GRIFFITH COMPANY
  - CHA CHA'S EXPANSION
  - 6200 CARBON CANYON ROAD
  - WESTERN REALCO
  - LIVING HOPE CHURCH
- **APPROVED/ENTITLED**
  - 201 N BERRY STREET
  - CENTRAL PARK VILLAGE
  - BREA PLACE
  - BREA IMPERIAL CENTER
  - FATHER'S HOUSE
  - RECREATIONAL VEHICLE (RV) AND BOAT STORAGE
  - BREA IMPERIAL CENTER (FOGO DE CHAO)
  - 735 SOUTH BREA BOULEVARD
  - RAISING CANE'S
  - MACALLANS EXPANSION AND NEW SPEAKEASY

- RAISING CANE'S
- 1160 NORTH PUENTE STREET
- **FUTURE**

## Development Contact Report

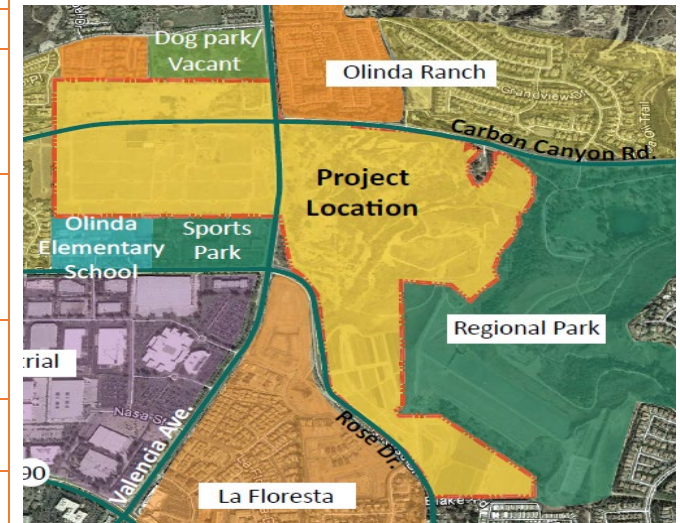
Date of Contact	Project Contact	Location	Project Description	Status/Notes
5/11/2021	N/A	779 W Imperial Hwy	Inquiry regarding new pet grooming parlor.	
5/7/2021	Laurie	403 W Imperial Hwy	Inquiry regarding a new laser tattoo removal space.	
5/18/2021	Marioara Lazar	120 S Brea Blvd	New restaurant.	Certificate of Occupancy approved.

## In-Process/Review

### AERA ENERGY / Brea 265 (MAP ID: 10)

Project:	<ul style="list-style-type: none"> <li>Specific Plan</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li><b>ACCELA No. PLN 2020-00011</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>North of Route 90 and East of State Route 57.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting a Specific Plan to address site plan/land use, parks and recreation, public works items, affordable housing, public safety and the environmental document. The project would include 1,100 residential units with a mix of single family and multi-family.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jason Killebrew, City Planner (<a href="mailto:jasonk@cityofbrea.net">jasonk@cityofbrea.net</a>)</li> <li>Monica Martin, Associate Planner (<a href="mailto:monicam@cityofbrea.net">monicam@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>AERA ENERGY</li> </ul>
Notes:	

#### PROJECT MAP:



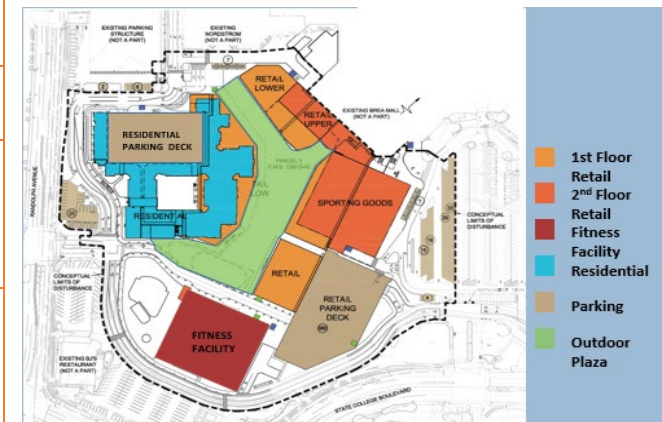
#### CURRENT STATUS:

- No tentative hearing date at this time.

**BREA MALL MIXED USE PROJECT (MAP ID: 11)**

Project:	<ul style="list-style-type: none"> <li>General Plan Amendment, Zone Change from C-C to MU-1, Development Agreement, Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>GPA No. 20-01; ZC No. 20-01, DA No. 20-01, FEIR 20-01; <b>ACCELA No. PLN 2020-00034</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>100 and 203 Brea Mall</li> <li>Assessor's Parcel Number (APN): 319-101-37, -64, -71, and -76</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The proposed project involves demolishing the former Sears department store and 12 acres of surface parking in order to allow a mix of uses—including retail, for-rent residential apartments, a resort-type fitness center, and a large “central green area” and plaza. The project would result in a net increase of 149,625 square feet of retail use and 312 residential units. The proposal includes a master sign program, alcohol serving uses and modifications to the City's parking standards.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Juan Arauz, Senior Planner(<a href="mailto:juana@cityofbrea.net">juana@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Simon</li> </ul>
Notes:	

**PROJECT MAP:**



**CURRENT STATUS:**

- No tentative hearing date at this time.

**BREA PLAZA (MAP ID: 13)**

Project:	<ul style="list-style-type: none"> <li>General Plan Amendment, Zone Change from C-G to MU-II, Development Agreement,</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>GPA No. XX-; ZC No. XX-XX, DA No. XX-XX, <b>ACCELA No. PLN 2020-00034</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>1639 East Imperial Highway</li> <li>Assessor's Parcel Number (APN): XXX-XX-XXX</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The proposed project would demolish 18,450 square feet of the Brea Plaza 5 Cinemas, 7,500 square foot of Buca di Beppo and 149 surface parking spaces. The project would include a new 150 room hotel, 194 residential units, 198 surface parking spaces and a reduction of 3,068 square feet of commercial footage.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jason Killebrew, City Planner (<a href="mailto:jasonk@cityofbrea.net">jasonk@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Coreland Companies</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Scoping Meeting and Notice of Preparation of DEIR occurred on July 27, 2020.</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- No tentative hearing date at this time.

**VERITAS CLASSICAL ACADEMY (MAP ID: 17)**

Project:	<ul style="list-style-type: none"> <li>Amendment to CUP 19-04</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>Amendment to CUP 19-04, <b>ACCELA No. PLN-2021-00005</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>1200 W Lambert Rd</li> <li>Assessor's Parcel Number (APN): 296-353-04</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting a modification to CUP 19-04 to allow for 4 portable classrooms.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jose Barriga, Associate Planner (<a href="mailto:joseb@cityofbrea.net">joseb@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Veritas Classical Academy (David Kim)</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application was submitted on January 28, 2021</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- No tentative hearing date scheduled.



**TRANSWESTERN IMPERIAL & BERRY (MAP ID: 16)**

Project:	<ul style="list-style-type: none"> <li>Precise Development (PD), Mitigated Negative Declaration (MND)</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PD No. 21-01; MND No. 21-01, <b>ACCELA No. PLN-2021-00007</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>285 N Berry Street and 711 W Imperial Hwy</li> <li>Assessor's Parcel Number (APN): 296-101-08; 296-101-05; 296-101-03</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing a new industrial warehouse facility. The existing building will be demolished and a new 132,700 SF building with a 2-story office space will be constructed. The site will feature new parking, landscaping and site amenities for employees.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jose Barriga, Associate Planner (<a href="mailto:joseb@cityofbrea.net">joseb@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Transwestern Company (Sara Santomauro)</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application was submitted on February 2, 2021</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- Tentatively schedule for Planning Commission for August 24, 2021



**GRIFFITH COMPANY (MAP ID: 6)**

Project:	<ul style="list-style-type: none"> <li>Amendment to CUP</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>Amend CUP 86-3, 86-4, 86-5 , <b>ACCELA No. PLN-2021-00018</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>3050 E Birch St</li> <li>Assessor's Parcel Number (APN): 320-022-20</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting to enclose a 1,350 SF covered patio into new office and add 7 new parking stalls.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Juan Arauz, Senior Planner (<a href="mailto:juana@cityofbrea.net">juana@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Wade Shuey</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application was submitted on March 29, 2021</li> </ul>

**PROJECT MAP:**



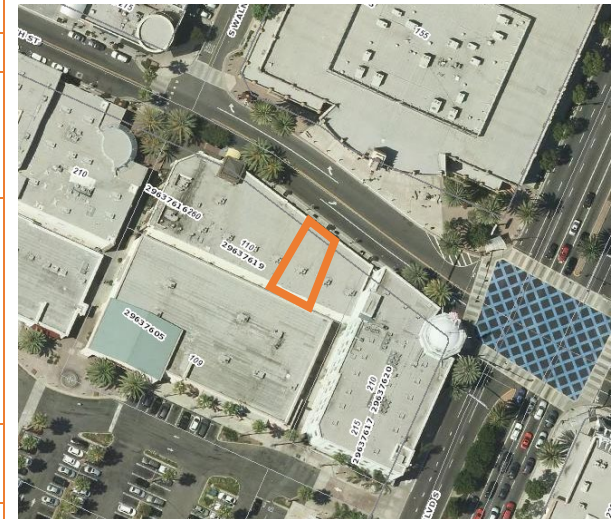
**CURRENT STATUS:**

- Tentatively schedule for Planning Commission for June 22, 2021

**CHA CHA'S EXPANSION (MAP ID: 7)**

Project:	<ul style="list-style-type: none"> <li>Amendment to CUP and Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>Amend CUP 98-17; PR 21-03, <b>ACCELA No. PLN-2021-00019</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>110 W Birch St</li> <li>Assessor's Parcel Number (APN): 296-376-16</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing an interior expansion into the formerly known tenant space "Black and White." In addition, minor improvements to the patio area for an expansion.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jose Barriga, Associate Planner (<a href="mailto:joseb@cityofbrea.net">joseb@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Don Myers</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application was submitted on April 5, 2021</li> </ul>

**PROJECT MAP:**



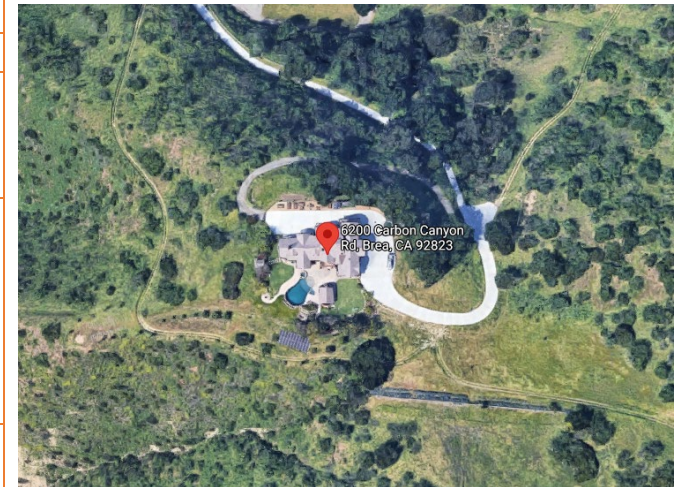
**CURRENT STATUS:**

- Tentatively scheduled for Planning Commission on July 27, 2021.

**6200 CARBON CANYON (MAP ID: XX)**

Project:	<ul style="list-style-type: none"> <li>Zone Variance</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>ZV 21-01; <b>ACCELA No. PLN-2021-00031</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>6200 Carbon Canyon Rd</li> <li>Assessor's Parcel Number (APN): 312-011-24</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to construct a 2,000SF detached structure to serve as storage for tractor and other mechanical equipment.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jose Barriga, Associate Planner (joseb@cityofbrea.net)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Andrew and Jolene Grinstead</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application was submitted on May 10, 2021</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- No tentative hearing date at this time.

**WESTERN REALCO (MAP ID: 9)**

Project:	<ul style="list-style-type: none"> <li>Administrative Remedy</li> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 21-06; AR 21-02; <b>ACCELA No. PLN-2021-00030</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>2929 East Imperial Hwy</li> <li>Assessor's Parcel Number (APN): 320-091-63</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to demolish the existing office building and construct a new 131,500 sf light industrial building. New landscaping, lighting, water quality measures, off-street parking, truck access and public are all proposed as improvements.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jose Barriga, Associate Planner (joseb@cityofbrea.net)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Western Realco</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application was submitted on April 27, 2021</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- No tentative hearing date at this time.



**LIVING HOPE CHURCH (Map ID: XX)**

Project:	<ul style="list-style-type: none"> <li>Amendment to CUP</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>Amendment to CUP 10-04; <b>ACCELA No. PLN-2021-00025</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>1215 W Lambert Rd</li> <li>Assessor's Parcel Number (APN): 296-391-32</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting to amend the CUP 10-04 that involves tenant improvements to the existing 6711 SF open frame canopy structure and use the canopy area to assemble area for outdoor social from existing use.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Juan Arauz, Senior Planner</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>James Thayer</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application was submitted on April 26, 2021</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- Tentatively schedule for Planning Commission for June 22, 2021

## Approved/Entitled

### CENTRAL PARK VILLAGE (Map ID: 1)

Project:	<ul style="list-style-type: none"> <li>Precise Development Plan for residential units.</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PD 18-02</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number:</li> <li>420 West Central Avenue</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project approval includes 82 new townhomes ranging from 1 bedroom to 5 bedrooms. 20 of the proposed new units will include affordable residential flats.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Juan Arauz, Senior Planner (<a href="mailto:juana@cityofbrea.net">juana@cityofbrea.net</a>)</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>The last phase of Central Park Village is being constructed which included 62 attached townhomes and 20 affordable residential flats.</li> <li>Model homes are currently open</li> <li>Finalizing of the units is anticipated to begin end of this month</li> </ul>

#### RENDERING:



#### CURRENT STATUS:

- Project approved April 2, 2019

**BREA PLACE (Map ID: 2)**

Project:	<ul style="list-style-type: none"> <li>Development Agreement, Precise Development, Tentative Parcel Map, Conditional Use Permit for hotel and Conditional Use Permit for modified parking standards.</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>TPM No. 2016-178; PD No. 16-04; CUP No. 16-10 and CUP No. 16-11.</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-331-14, -15, -11, -12, -13, -14, -03, -04, 319-332-10, -01, -02,</li> <li>Northeast corner of Birch Street and State College Boulevard.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project approved construction of new buildings on vacant portions of the site to build out mixed use campus of office, residential, hotel and support commercial uses. Building A features 462 apartments in a five-story building and Building B features 285 apartments in a three to five story building. The units include a mix of studio, one bedroom and two bedrooms for rent. The project features 13,000 square feet of commercial space within the Birch Street frontage and across the street a four-story 150 room hotel is approved.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jason Killebrew, City Planner (<a href="mailto:jasonk@cityofbrea.net">jasonk@cityofbrea.net</a>)</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Brea Place is currently in its early stages of construction for Building A and Building B.</li> <li>Phased occupancy approach for the residential units, leasing office and showrooms before the end of the year.</li> <li>The hotel is currently in plan check phase with issuance anticipated by winter of 2020.</li> </ul>

**RENDERING:**



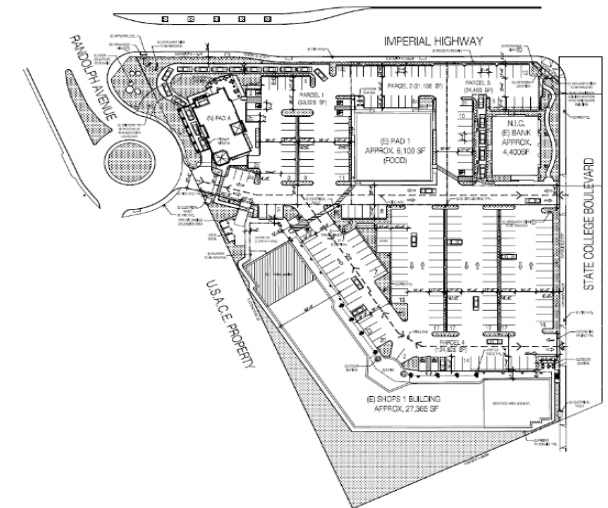
**CURRENT STATUS:**

- Planning Commission approved project on June 27, 2017.

**BREA IMPERIAL CENTER (Map ID: 3)**

Project:	<ul style="list-style-type: none"> <li>Amendment to Conditional Use Permit 18-06, Precise Development 17-03 for new restaurant building, Conditional Use Permit for Type 47 Alcohol, Conditional Use Permit for Sign Program, Tentative Parcel Map for Subdivide</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 18-05, PD 17-03, CUP 18-07 (Sign Program), TPM 2017-01</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 029-331-22, -28</li> <li>311-391 South State College &amp; 1130-1160 Imperial Highway</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes the approval of the Precise Development and Conditional Use Permit with regards to façade improvements, demolition and reconstruction of a portion of the Brea Imperial Center and to consider parking modifications to the center with a new comprehensive sign program. In addition, a Tentative Parcel Map to subdivide the 4.1-acre site into two parcels.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Juan Arauz, Senior Planner (<a href="mailto:juana@cityofbrea.net">juana@cityofbrea.net</a>)</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>In-n-out permits are ready to issue and anticipated to be up by 2022.</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- Planning Division approved this project on July 24, 2018.



**201 NORTH BERRY STREET (MAP ID: 4)**

Project:	<ul style="list-style-type: none"> <li>Precise Development</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PD 20-01</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-23-114</li> <li>201 North Berry Street</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The approved project includes the demolition of the existing buildings and construct a new 109,125 square foot warehouse building.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cecilia Madrigal-Gonzalez, Planning Technician (<a href="mailto:ceciliamg@cityofbrea.net">ceciliamg@cityofbrea.net</a>)</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Construction to begin before the end of the year.</li> <li>Demolition began the week of the September 14th, 2020.</li> </ul>

**RENDERING:**



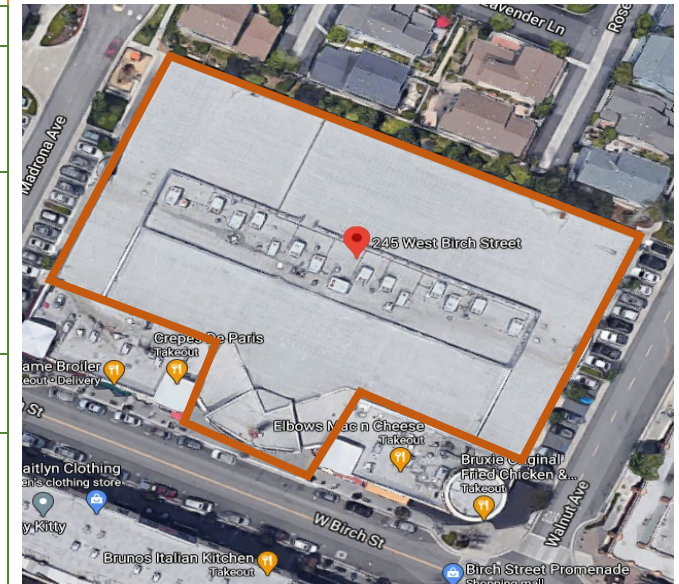
**CURRENT STATUS:**

- Approved by Planning Commission on April 28, 2020.

**FATHER'S HOUSE (MAP ID: 5)**

Project:	<ul style="list-style-type: none"> <li>Conditional Use Permit for a Church Use</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 20-13; <b>ACCELA No. PLN 2020-00033</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-362-25</li> <li>245 West Birch Street (Downtown Brea)</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting a Conditional Use Permit to allow a place of worship within the Mixed Use I zone in Downtown Brea. The applicant is proposing to occupy a portion of the existing theatre to allow Sunday Service, weekday worship, small group gatherings, staff office and a recording studio for videos for online church services.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Kimley-Horn, Sheri Vander Dussen (Consultant)</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application submitted 8/12/2020.</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- Approved by Planning Commission on October 27, 2020.

**RECREATIONAL VEHICLE (RV) AND BOAT STORAGE (MAP ID: 7)**

Project:	<ul style="list-style-type: none"> <li>Conditional Use Permit for RV and Boat Storage</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 20-15; <b>ACCELA No. PLN 2020-00005</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-101-08</li> <li>285 South Berry Street</li> <li>Northwest corner of Imperial Highway and Berry Street.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing a new RV and Boat Storage location formerly used for over-flow parking.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cecilia Madrigal-Gonzalez, Planning Technician (<a href="mailto:ceciliamg@cityofbrea.net">ceciliamg@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Rob Camire</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application submitted 9/1/2020.</li> <li>This is the applicants (RCMC RV &amp; Boat Storage) fifth location in Brea.</li> <li>Conditions H, G, C, E were revised during Planning Commission.</li> <li>Appealed by Rob Camire on 12/4/2020.</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- Approved by Planning Commission on November 24, 2020.
- Approved by City Council on January 19, 2021

**BREA IMPERIAL CENTER (FOGO DE CHAO) (MAP ID: 9)**

Project:	<ul style="list-style-type: none"> <li>Amendment to Conditional Use Permit 18-06 and Precise Development 17-03 for new restaurant building, Conditional Use Permit for Type 47 Alcohol License</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 20-16, Modify PD 17-03; Modify CUP 18-06</li> <li><b>ACCELA No. PLN 2020-00009</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 029-331-28 &amp; 029-331-22</li> <li>391 &amp; 351 South State College Boulevard</li> <li>1130 &amp; 1160 East Imperial Highway</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to amend the existing CUP 18-06 for shared parking and allow for valet parking with an increase in compact parking stalls. In addition, amend the existing PD No. 17-03 to demolish the existing bank building and replace with a new restaurant, Fogo de Chao with Type 47 alcohol license.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Juan Arauz, Senior Planner (<a href="mailto:juana@cityofbrea.net">juana@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Donald D. Lamm</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application submitted June 9, 2020</li> </ul>

**RENDERING:**



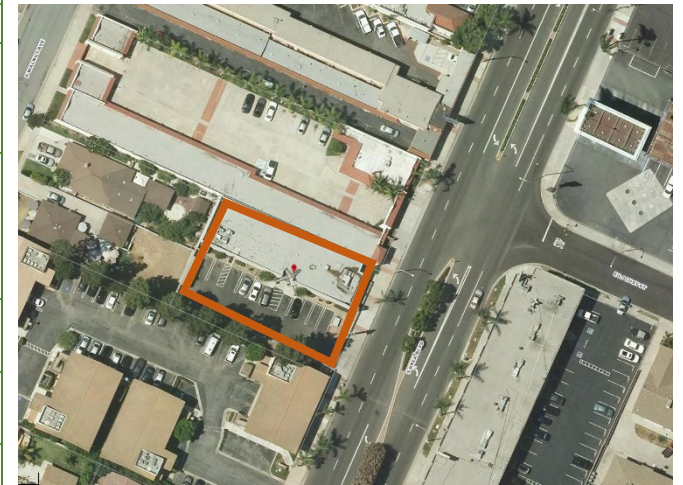
**CURRENT STATUS:**

- Approved by Planning Commission on November 24, 2020.

**735 SOUTH BREA BOULEVARD (MAP ID: 6)**

Project:	<ul style="list-style-type: none"> <li>Conditional Use Permit for Parking Modification and Change of Use to Office</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 20-11; <b>ACCELA No. PLN 2020-00025</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-153-21</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting a Conditional Use Permit for a parking modification for a proposed real estate office in the Mixed-Use III Zone. The property was formerly used as a Veteran's Club and the project applicant is proposing a new use as the corporate office for TNG Real Estate.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Monica Martin, Associate Planner (<a href="mailto:monicam@cityofbrea.net">monicam@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Craig Martin</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application submitted on 7/20/2020.</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- Approved by Planning Commission on December 8, 2020.



**RAISING CANE'S (MAP ID: 8)**

Project:	<ul style="list-style-type: none"> <li>Conditional Use Permit to amend Conditional Use Permit No. CUP 88-39; Precise Development for building design and site design, Conditional Use Permit to amend existing sign program.</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 20-10; PD 20-04; <b>ACCELA No. PLN 2020-00010</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-292-35</li> <li>255 East Imperial Highway</li> <li>Northwest corner of Imperial Highway and Flower Avenue</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to demolish two existing retail buildings and replace with a new restaurant with dual drive-thru service.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Juan Arauz, Senior Planner (<a href="mailto:juana@cityofbrea.net">juana@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Javier Sola</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application submitted 6/19/2020.</li> <li>The Planning Commission approved Conditions of Approval on December 8<sup>th</sup>, 2020 with modification to Condition E and I.</li> </ul>

**PROJECT MAP:**



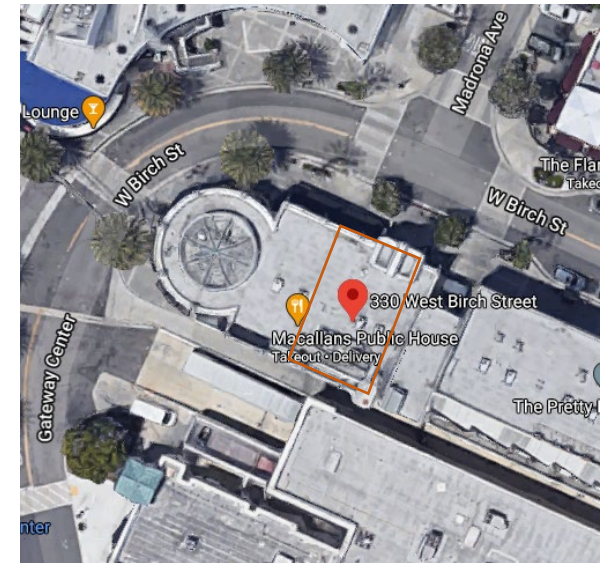
**CURRENT STATUS:**

- Approved by Planning Commission on December 8, 2020.
- Approved by City Council on February 16, 2021.

**MACALLANS EXPANSION AND NEW SPEAKEASY (MAP ID: 14)**

Project:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 20-14, <b>ACCELA No. PLN 2020-00004</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>330 West Birch Street</li> <li>Assessor's Parcel Number (APN): 296-376-18</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The proposed project will expand their existing patio area and expand into the adjacent space by 644 square feet.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jose Barriga, Associate Planner (<a href="mailto:joseb@cityofbrea.net">joseb@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Douglas Vincent</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application received October 5, 2020.</li> </ul>

**PROJECT MAP:**



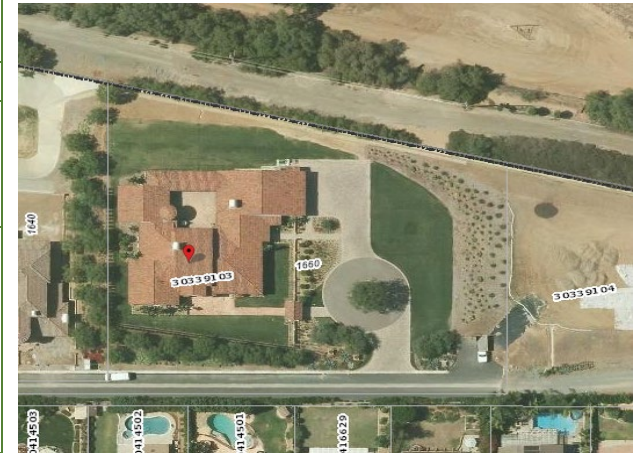
**CURRENT STATUS:**

- Approved by Planning Commission on December 8, 2020.

**1660 NORTH PUENTE STREET (MAP ID: 12)**

Project:	<ul style="list-style-type: none"> <li>Tentative Parcel Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>TPM No. 2019-118; <b>ACCELA No. PLN 2020-00011</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 303-391-03</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>Request to subdivide an existing 65,832 SF (1.5 AC) parcel, zoned R-1, into two parcels; Parcel 1 will have an area of 47,401 SF and Parcel 2 will have an area of 18,431 SF. The existing residence on Parcel 1 will remain in conformance with the standards of all Brea Codes and requirements. Construction is not proposed on Parcel 2 as a part of this request.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jose Barriga, Associate Planner (<a href="mailto:joseb@cityofbrea.net">joseb@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>James McGrade</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>Application submitted September 30, 2020.</li> <li>1<sup>st</sup> comments letter was sent on October 26<sup>th</sup>, 2020.</li> </ul>

**PROJECT MAP:**



**CURRENT STATUS:**

- Approved by Planning Commission on January 26, 2021.