



## PLANNING COMMISSION AGENDA

**Tuesday, September 12, 2023**

Planning Commission Public Hearings 6:00 p.m.

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**Bill Madden, Chair**

**Joseph Covey Vice Chair**

**Tom Donini, Commissioner**

**Blake Perez, Commissioner**

**Melanie Schlotterbeck Commissioner**

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This agenda contains a brief general description of each item the Commission will consider. The Planning Division has on file copies of written documentation relating to each item of business on this Agenda available for public inspection. Contact the Planning Division at (714) 990-7674 or view the Agenda and related materials on the City's website at [www.cityofbrea.net](http://www.cityofbrea.net). Materials related to an item on this agenda submitted after distribution of the agenda packet are available for public inspection in the Planning Division at 1 Civic Center Circle, Brea, CA during normal business hours. Such documents may also be available on the City's website subject to staff's ability to post documents before the meeting.

### **Procedures for Addressing the Commission**

The Commission encourages interested people to address this legislative body by making a brief presentation on a public hearing item when the Chair calls the item or address other items under Matters from the Audience. State Law prohibits the Commission from responding to or acting upon matters not listed on this agenda.

The Commission encourages free expression of all points of view. To allow all persons the opportunity to speak, please keep your remarks to 3 minutes. If others have already expressed your position, you may simply indicate that you agree with a previous speaker. If appropriate, a spokesperson may present the views of your entire group. Commission rules prohibit clapping, booing, or shouts of approval or disagreement from the audience. Please silence all cell phones and other electronic equipment while the Commission is in session. Thank you.

Written comments may be submitted in advance of the meeting by emailing [planner@cityofbrea.net](mailto:planner@cityofbrea.net). Written comments received by 3 p.m. on the day of the meeting will be provided to the Commission, will be made available to the public at the meeting, and will be included in the official record of the meeting.

### **Special Accommodations**

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact Planning at (714) 990-7674. Notification 48 hours prior to the meeting will enable City staff to make reasonable arrangements to ensure accessibility. (28 CFR 35.102.35.104 ADA Title II)

### **Important Notice**

The City of Brea shows a live broadcast of the Planning Commission meeting over the internet at <https://cityofbrea-net.zoom.us/j/89166452644>. Your attendance at the public meeting may result in the recording and broadcast of your image and/or voice as previously described.

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**ALL PLANNING COMMISSION DECISIONS MAY BE APPEALED TO THE CITY COUNCIL WITHIN TEN (10) CALENDAR DAYS OF THE MEETING. PLEASE CONTACT THE CITY CLERK AT (714) 990-7756 FOR FURTHER INFORMATION ABOUT FILING AN APPEAL OR OBTAINING AN APPEAL APPLICATION.**

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**PLANNING COMMISSION  
PUBLIC HEARINGS**  
6:00 p.m. - Council Chambers, Plaza Level

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1. **CALL TO ORDER / ROLL CALL - COMMISSION**
2. **INVOCATION - Pastor Steve Chang - Living Hope Community Church**
3. **PLEDGE OF ALLEGIANCE**
4. **MATTERS FROM THE AUDIENCE**

**CONSENT CALENDAR** *The Planning Commission approves all Consent Calendar matters with one motion unless Commission or Staff requests further discussion of a particular item. Items of concern regarding Consent Calendar matters should be presented during "Matters from the Audience."*

5. Approval of Planning Commission Meeting Minutes of August 8, 2023

**PUBLIC HEARINGS** *This portion of the meeting is for matters that legally require an opportunity for public input. Audience participation is encouraged and is limited to 3 minutes per speaker.*

6. Conditional Use Permit No. 2023-04: To Allow On-Site Sale and Consumption of Beer and Wine at A new restaurant (Origami Handroll Bar) located at 1080 East Imperial Highway, Suite E-2
7. Conditional Use Permit No. 2023-07: to allow on-site sale and consumption of beer and wine at a new restaurant (The Boiling Crab) at 120 South Brea Boulevard, Suite 103

**ADMINISTRATIVE ITEMS** - *This agenda category is for Commission consideration of a wide variety of topics. Public comments regarding items in this section should be presented during "Matters from the Audience."*

8. **COMMITTEE REPORTS**
9. **INFORMATIONAL / PROJECT UPDATES**
10. **ADJOURNMENT**

City of Brea

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**PLANNING COMMISSION COMMUNICATION**

**TO:** Honorable Chair and Planning Commission

**DATE:** 09/12/2023

**SUBJECT:** Approval of Planning Commission Meeting Minutes of August 8, 2023

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**RESPECTFULLY SUBMITTED**

Joanne Hwang, AICP, City Planner

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**Attachments**

A. Draft Minutes - August 8, 2023

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# **DRAFT**

## **PLANNING COMMISSION MEETING MINUTES August 8, 2023**

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### **PLANNING COMMISSION PUBLIC HEARINGS**

**6:00 p.m. - Council Chambers, Plaza Level  
and  
Via Teleconference - 350 W Central Ave #455  
Brea, CA 92821**

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#### **1. CALL TO ORDER / ROLL CALL - COMMISSION**

Chair Madden called the meeting to order at 6:03 pm.

Present: Chair Madden; Commissioner Donini; Commissioner Perez; Commissioner Schlotterbeck

Absent: Vice Chair Covey

#### **2. INVOCATION**

Pastor Eric Clausen from Christ Lutheran Church provided the Invocation.

#### **3. PLEDGE OF ALLEGIANCE**

Commissioner Donini led the Pledge of Allegiance.

#### **4. MATTERS FROM THE AUDIENCE**

None.

#### **CONSENT CALENDAR**

5. Approval of Planning Commission Meeting Minutes of June 13, 2023



6. Receive and File the Quarterly Traffic Monitoring Report for Tentative Parcel Map No. 2016-178 located at the Northwest Corner of Birch Street and State College Boulevard

Motion was made by Commissioner Schlotterbeck, seconded by Commissioner Donini to approve consent calendar items 5 & 6.

AYES: Commissioner Donini, Commissioner Perez, Commissioner Schlotterbeck  
RECUSE: Chair Madden

Passed

## **PUBLIC HEARINGS**

7. Conditional Use Permit No. 2023-01: to allow the on-site sale and consumption of beer and wine at a new restaurant (Popping Yolk Cafe) Located At 1160 East Imperial Highway, Suite J.

Assistant Planner, Cristal Nava, provided a presentation of the project. The Commission had a question whether the business was a franchise and if so where the other locations are located.

Kevin Franklin, the applicant's representative, stated other locations were located in Alhambra, Pasadena, Hacienda Heights, and Ontario.

Chair Madden opened the Public Hearing and after hearing no testimony, he closed it.

Motion was made by Commissioner Schlotterbeck, seconded by Commissioner Donini to approve Conditional Use Permit 2023-01.

AYES: Chair Madden, Commissioner Donini, Commissioner Perez,  
Commissioner Schlotterbeck

Passed

8. Precise Development No. 2022-02 To allow the demolition of an existing movie theater building (Building F) and remodeling of buildings E & G at 1639 East Imperial Highway (Brea Plaza).

Senior Planner, Jessica Newton, provided a presentation of the project. The Commission had questions regarding the square footage of second floor office addition for Building E and questioned the need for office spaces in the post-pandemic era.

Wayne Wedin from the Applicant Team spoke in favor of the project and stated that the modernization of the project site would be a benefit to the community.

Chair Madden opened the Public Hearing and after hearing no testimony, he closed it.

The Commission had more questions regarding interior tenant improvements and a suggestion to modify Item 5 in the Conditions of Approval so that landscaping in the parking lot would not exceed a certain height so as not to impede drivers' line of sight.

Motion was made by Commissioner Schlotterbeck with the modification to Conditions of Approval No. 5 to include aforementioned limitation on the height of landscaping, seconded by Commissioner Perez to approve Precise Development No. 2022-02 as amended.

AYES: Chair Madden, Commissioner Donini, Commissioner Perez, Commissioner Schlotterbeck  
Passed

## **ADMINISTRATIVE ITEMS**

### **9. COMMITTEE REPORTS**

Commissioner Perez updated the Commission on the Cultural Arts Master Plan which includes a survey and outreach with the next meeting scheduled for October.

### **10. INFORMATIONAL / PROJECT UPDATES**

Commissioner Schlotterbeck commended staff on the hard work that went into the recent Code Amendment.

Chair Madden asked about the 57-freeway/Lambert construction progress. Assistant City Engineer, Ryan Chapman, stated December is the anticipated date of completion at this time per Cal Trans

### **11. ADJOURNMENT**

Chair Madden adjourned the meeting at 6:36 pm.

Respectfully submitted,

The foregoing minutes are hereby  
approved this 12th day of September 2023.

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Joanne Hwang, AICP  
City Planner

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Bill Madden, Chair

City of Brea

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**PLANNING COMMISSION COMMUNICATION**

**TO:** Honorable Chair and Planning Commission

**DATE:** 09/12/2023

**SUBJECT:** Conditional Use Permit No. 2023-04: To Allow On-Site Sale and Consumption of Beer and Wine at A new restaurant (Origami Handroll Bar) located at 1080 East Imperial Highway, Suite E-2

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**RESPECTFULLY SUBMITTED**

Joanne Hwang, AICP, City Planner

Prepared by: Cristal Nava, Assistant Planner

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**Attachments**

Staff Report

- A. Draft Resolution
  - B. Draft Conditions of Approval
  - C. Technical Background
  - D. Vicinity Map
  - E. Menu
  - F. Operational Plan
  - G. Project Plans
  - H. Project Application
  - I. Public Hearing Notice
  - J. Draft Notice of Exemption
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# Planning Commission

## Staff Report

Meeting Date: 09.12.2023

TO: Honorable Chair and Planning Commission

FROM: Joanne Hwang, AICP, City Planner

**SUBJECT: CONDITIONAL USE PERMIT NO. 2023-04: TO ALLOW ON-SITE SALE AND CONSUMPTION OF BEER AND WINE AT A NEW RESTAURANT (ORIGAMI HANDROLL BAR) LOCATED AT 1080 EAST IMPERIAL HIGHWAY, SUITE E-2**

### **EXECUTIVE SUMMARY**

The Applicant, Jay Yim of Origami Handroll Bar, is requesting a Conditional Use Permit (CUP) No. 2023-04 to allow on-site sale and consumption of beer and wine at a new restaurant (Origami Handroll Bar) located within the Brea Towne Centre at 1080 East Imperial Highway, Suite E-2, in the General Commercial (C-G) Zone with a Precise Development (P-D) Overlay.

The above-mentioned entitlement herein is referred to as the “Project.”

### **RECOMMENDATION**

Staff recommends that the Planning Commission adopt a resolution (Attachment A) taking the following actions:

1. Find the Project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1, Existing Facilities): and,
2. Approve CUP No. 2023-04 to allow on-site sale and consumption of beer and wine at a new restaurant (Origami Handroll Bar), based on the findings and conclusions in the attached Resolution (Attachment A), and subject to the recommended Conditions of Approval (Attachment B).

### **BACKGROUND**

The Project site, located at 1080 E. Imperial Highway, Suite E-2, is located within a larger 3.7-acre property currently developed with a retail commercial center known as the Brea Towne Centre. The subject tenant suite is 1,298 square feet in size and was previously occupied by Oak & Willow coffee shop. The Project site is located at the southwest corner of Imperial Highway and Randolph Avenue. The Brea Towne Centre features a mix of restaurants, offices, and service-oriented businesses. The Project site has a General Plan Land Use designation of General Commercial and zoning designation of General Commercial (C-G) with a Precise Development (P-D) Overlay. The surrounding land uses and zoning designation are shown in Tables 1 and 2 below.

**TABLE 1 – SURROUNDING LAND USES**

<b>North</b>	Commercial shopping center and Brea mall ( <i>Across Imperial Hwy.</i> )
<b>East</b>	Commercial shopping center ( <i>Across Randolph Ave.</i> )
<b>South</b>	Single-Family Residences and Apartments
<b>West</b>	Commercial shopping center

**TABLE 2 – SURROUNDING ZONING DESIGNATIONS**

<b>North</b>	C-G (General Commercial) with a P-D (Precise Development) Overlay and Mixed-Use I (MU-I)
<b>East</b>	C-G with a P-D Overlay
<b>South</b>	R-1 (Single-Family Residential) and R-3 (Multiple Family Residential) with a P-D Overlay
<b>West</b>	C-G with a P-D Overlay

The Project site is currently developed with commercial buildings and associated surface parking areas and landscaping areas. Ingress and egress to the site are provided by two driveways: one on Imperial Highway and one on Randolph Avenue. The aerial view of the Project site is Figure 1 below.

**FIGURE 1 – AERIAL VIEW OF THE PROJECT SITE**



The Technical Background Summary and the Vicinity Map are provided in Attachment C and D, respectively.

**Entitlement History**

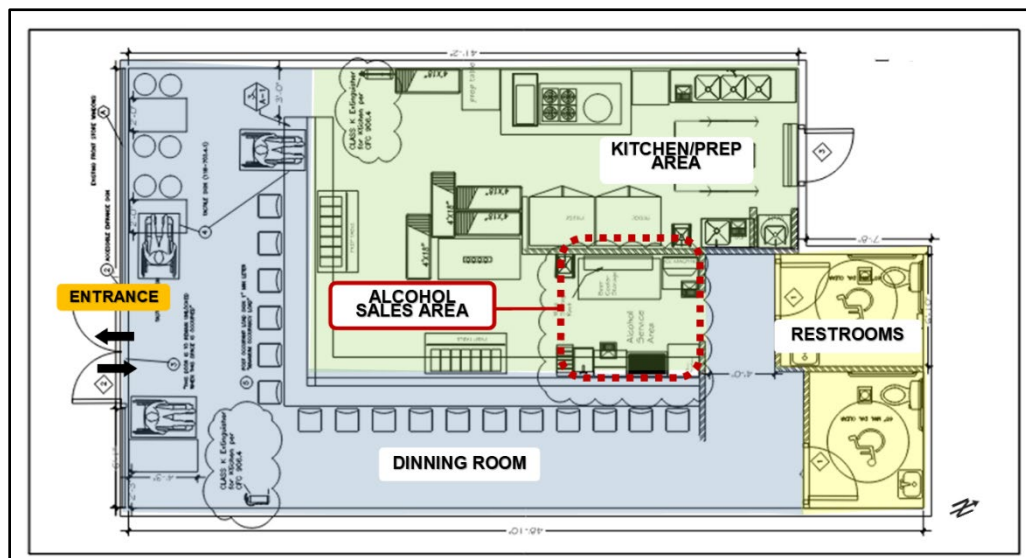
- On April 24, 1979, the Planning Commission approved PD No. 19-18 to allow for the construction of four commercial shop buildings consisting of 39,314 square feet of floor area on an approximately 3.7-acre lot per Resolution No. PC 23-79.
- On September 27, 1983, the Planning Commission approved PD No. 7-83 to permit a second restaurant use totaling 2,201 square feet of gross floor area per Resolution No. PC 68-83.
- On November 24, 1992, the Planning Commission approved CUP No. 92-23 to establish a comprehensive sign program per Resolution No. PC 92-72.
- On February 25, 2003, the Planning Commission approved CUP No. 03-04 to allow for on-site beer and wine for the Papa Mio' Italian Grill, now occupied by Tempo Cantina at 1060 East Imperial Highway.
- On April 25, 2023, the Planning Division received a CUP application to allow for on-site service of beer and wine for a new restaurant (Origami Handroll Bar).

**PROJECT DESCRIPTION**

The Applicant proposes to establish on-site sale and consumption of beer and wine (Type 41 from the California Department of Alcohol Beverage Control, or ABC) for a new restaurant Origami Handroll Bar, located at 1080 East Imperial Highway, Suite E-2. The building footprint of the suite will remain the same as no expansion is proposed.

Origami Handroll Bar is a family-owned Japanese restaurant that specializes in serving premium handrolls, craft beer, and sake cocktails (refer to Attachment E for the full menu). The proposed hours of operation are from 12:00 p.m. to 9:00 p.m., Sunday through Thursday, and 12:00 p.m. to 10:00 p.m., Friday and Saturday. The Applicant is proposing to offer beer and sake cocktails as part of the restaurant dining operations within the dining room area. The proposed floor plan of the Project site is Figure 2 below.

**FIGURE 2 – PROPOSED FLOOR PLAN**



The Operational Breakdown, Project Plans, and Project Application are Attachments F, G, and H, respectively.

## **DISCUSSION**

### **Conditional Use Permit No. 2023-04: On-Site Sale of Beer and Wine**

Pursuant to the permitted uses in the General Commercial (C-G) Zone as listed in Brea City Code (BCC) Section 20.236.020B., the on-site sale of alcoholic beverages is permitted subject to Planning Commission approval of a CUP.

The new restaurant, Origami Handroll Bar, is a full-service restaurant where the requested on-site beer and wine service is an ancillary use that is complimentary to the in-house dining experience. As a service-oriented business, the restaurant's operations are compatible with the existing businesses within the Brea Towne Centre. The new restaurant occupies a tenant space previously occupied by a café and since the Project does not propose any expansion of square footage, there would be no impact on the parking supply of the existing commercial center. In addition, the Project was also reviewed by the Fire and Police Departments and the Building & Safety Division. The Project is required to meet all Building and Fire codes and standards, thereby assuring public health, safety, and welfare.

To further ensure the Project would be compatible with surrounding uses and not adversely affect the public, health, or general welfare, staff has prepared draft Conditions of Approval (Attachment B). Notable conditions include:

- Condition 2 & 3: The applicant is required to obtain and maintain a "Type 41" license from ABC.
- Condition 6: No live entertainment on the premise would be permitted unless proper permits have been obtained.

As such, the Project, as proposed and conditioned, is not anticipated to negatively affect the health and safety of the surrounding neighborhood.

## **PUBLIC NOTICE AND COMMENTS**

This Project was noticed in accordance with the City's public notice requirements, which involved mailed notices sent to property owners within 500 feet of the Project site, and publication in the Brea Star-Progress. The public hearing notice for this Project is provided in Attachment I. As of the writing of this report, staff has not received public comments.

## **ENVIRONMENTAL ASSESSMENT**

The project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. The Class 1 exemption applies to on-site sale and consumption of beer and wine within an existing restaurant because the Project does not include any physical expansion or modification to the exterior of the

existing building. Therefore, the Project is categorically exempt from the provisions of CEQA. The draft Notice of Exemption is Attachment J.

### **CONCLUSION**

For the reasons discussed above and the information attached to this report, the Project would conform with all the requirements of the General Plan and the provisions of the BCC. The proposed recommendation would not have an adverse effect on the public, health, safety, or general welfare. Therefore, staff recommends approval of the Project.

Prepared by:



Cristal G. Nava  
Assistant Planner

### **ATTACHMENTS**

- A. Draft Resolution Conditional Use Permit No. 2023-04
- B. Draft Conditions of Approval
- C. Technical Background
- D. Vicinity Map
- E. Origami Handroll Bar Menu
- F. Operations Breakdown
- G. Project Plans
- H. Project Application
- I. Public Hearing Notice
- J. Draft Notice of Exemption



## RESOLUTION NO. PC 2023-XX

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING CONDITIONAL USE PERMIT NO. 2023-04: TO ALLOW ON-SITE SALE AND CONSUMPTION OF BEER AND WINE AT A NEW RESTAURANT (ORIGAMI HANDROLL BAR) LOCATED AT 1080 EAST IMPERIAL HIGHWAY, SUITE E-2.**

**A. RECITALS:**

(i) The Planning Commission of the City of Brea (the “Planning Commission”) did receive a verified petition for the approval of Conditional Use Permit (CUP) No. 2023-04 to allow on-site sale and consumption of beer and wine at a new restaurant Origami Handroll Bar (referred to herein as the “Project”) for that certain real property located at 1080 East Imperial Highway, Suite E-2, in the City of Brea, and further legally described as Assessor Parcel Number 284-181-01, as shown in the latest records of the County of Orange Assessor’s Office.

(ii) The Project applicant is the Origami Handroll Bar (Jay Yim), 1332 East Valencia Drive, Fullerton, CA 92831.

(iii) The Project site is zoned General Commercial (C-G) with a Precise Development (P-D) Overlay and designated as General Commercial by the General Plan.

(iv) On September 12, 2023, the Planning Commission held a duly noticed public hearing on the Project, during which it received and considered all evidence and testimony presented prior to the adoption of this resolution.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.

2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. Class 1 applies to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The Project involved the establishment of on-site sale and consumption of beer and wine with no proposal to expand the existing building footprint.

3. The Commission further finds in consideration of CUP No. 2023-04 as follows:

a. Finding: That the use applied for at the location set forth in the application is properly one for which a Conditional Use Permit is authorized by this title.

Fact: The Project site is zoned General Commercial (C-G) with a Precise Development (P-D) Overlay. Pursuant to section 20.236.020.B of the Brea City Code, a restaurant is permitted use, while on-site sale of alcohol requires the review and approval of a conditional use permit.

b. Finding: That said use with any conditions to be imposed is necessary or desirable for the development of the community, in harmony with the various elements or objects of the General Plan, and not detrimental to existing uses or to uses specifically permitted in the zone which the proposed use is to be located.

Fact: The Project is located within an existing shopping center known as Brea Towne Centre, which offers a mix of restaurants, retail, and service-oriented businesses. The proposed on-site sale and consumption of beer and wine within a restaurant is consistent with the General Plan Policy CD-1.11 in that it will maintain a mixture of business and retail uses within the community. As the request for on-site sale and consumption of beer and wine is ancillary to restaurant use, this request is not anticipated to result in significant impacts on City services nor to be detrimental to existing uses in the zone.

c. Finding: The site is adequate in size and shape to accommodate the proposed development and all of the yards, setbacks, walls, fences, landscaping, and other features required to bring about conformity with other elements in the neighborhood.

Fact: The Project site is approximately 1,298 square feet in size and occupies one tenant suite within an existing building that is located in the Brea Towne Centre. The Project does not propose any expansion or modification of the existing parking ratio. As such, the Project site is adequate in size and shape to accommodate the proposed development.

d. Finding: That the proposed site relates to streets and highways which are properly designed and improved to carry the type and quality of traffic generated or to be generated by the proposed development.

Fact: Vehicular access to the Project site will continue to be provided off Imperial Highway and Randolph Avenue. The Project is not anticipated to result in any traffic impacts to the adjacent uses as the Project

consists of allowing ancillary on-site beer and wine services at the new restaurant located within an existing shopping center, without any building expansion.

e. Finding: That with conditions stated in the permit, the uses will not adversely affect the public health, safety, or general welfare.

Fact: The Project is designed to comply with all applicable development standards and will operate similarly to other existing commercial land uses in Brea Towne Centre. All activities will be conducted within the building, and conditions of approval have been included to ensure the use of the site will not affect adjacent properties and land uses.

4. CUP No. 2023-04 is hereby approved, subject to the conditions of approval found in Exhibit A of this resolution.

5. The Secretary of this Commission shall certify the adoption of this Resolution.

**ADOPTED AND APPROVED** this 12<sup>th</sup> day of September 2023.

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Chair, Planning Commission

I, Joanne Hwang, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 12<sup>th</sup> day of September 2023 and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 12<sup>th</sup> day of September 2023, by the following votes:

**Resolution No. 2023-xx**

**Page 5**

**Applicant: Origami Handroll Bar**

**CUP No. 2023-04**

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

\_\_\_\_\_  
Secretary, Planning Commission

DRAFT

**ATTACHMENT A OF RESOLUTION NO. 2023-XX  
CONDITIONAL USE PERMIT NO. 2023-04**

**CONDITIONS OF APPROVAL**

Conditional Use Permit (CUP) No. 2023-04 is hereby approved, subject to the conditions as set forth herein:

Planning Division – Community Development Department

1. Development and operations of the Project shall occur in substantial compliance with the plans and documents reviewed and approved by the Planning Commission on September 12, 2023, which include an operations breakdown, site plan, and floor plan on file with the Planning Division, the conditions contained herein and all applicable Federal, State, County and local regulations. The City Planner may approve minor modifications to the operations and approved project plans.
2. The applicant shall obtain a “Type 41” alcoholic beverage license from the California Department of Alcohol Beverage Control (ABC) for the sale of alcoholic beverages prior to commencing the on-site beer and wine service. Any modifications of license types for on-site consumption are subject to City approval from the Planning Commission.
3. The applicant shall maintain a “Type 41” alcoholic beverage license from the ABC as long as on-site sale of beer and wine is provided at the Project site.
4. Any violation of the regulations of the ABC, as it pertains to the subject location and the on-site sale and consumption of beer and wine, may result in the revocation of the subject CUP, as provided for in Section 20.412.020 of the Brea City Code.
5. The on-site sale and consumption of beer and wine shall remain incidental to the food service and the operation of the restaurant.
6. There shall be no live entertainment, amplified music, or dancing permitted on the premise at any time unless the proper permits have been obtained from the City of Brea.
7. Service of alcoholic beverages shall be allowed to occur within the areas designated as customer seating.
8. The business operations shall comply with the City’s Noise Ordinance.
9. The on-site service of the selling and serving of beer and wine shall be limited to the area within the restaurant designated as customer seating.

10. The hours of alcohol sales shall be restricted to the hours of the restaurant (hours of operation).
11. The Applicant shall install interior and exterior surveillance cameras and ensure the cameras are in working condition.
12. There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of beer and wine.
13. The Applicant is responsible for paying all charges related to the processing of the Project within 30 days of the issuance of the final invoice or prior to the issuance of building permits for the Project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.
14. Any permit is subject to expiration and revocation as provided in Chapter 20.412.020, and said provisions are specifically made a part hereof without negating the applicability of any other provision of this title or any other ordinance.
15. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of Conditional Use Permit No. CUP 2023-04 and (ii) any and all claims, lawsuits, liabilities, and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitee's choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorney's fees in any such lawsuit or action.

**TECHNICAL BACKGROUND**

<b>Case No:</b>	Conditional Use Permit (CUP) No. 2023-04
<b>Property Location:</b>	1080 E. Imperial Hwy, Suite E-2
<b>Tenant Space Size:</b>	1,298 SF
<b>Applicant:</b>	Jay Yim of Origami Handroll Bar 1332 E. Valencia Drive Fullerton, CA 928314
<b>General Plan Designation:</b>	General Commercial
<b>Zoning Designation:</b>	General Commercial (C-G) with a Precise Development (P-D) Overlay
<b>Adjacent Zoning</b>	
<b>North:</b>	C-G with a P-D Overlay and Mixed-Use I (MU-I)
<b>South:</b>	Single-Family Residential (R-1) and Multiple Family Residential (R-3) with a P-D Overlay
<b>West:</b>	C-G with a P-D Overlay
<b>East:</b>	C-G with a P-D Overlay
<b>Site and Neighborhood Characteristics:</b>	The project site is located within the Brea Towne Centre on the southwest corner of Imperial Highway and Randolph Avenue. The site is surrounded by various commercial uses.
<b>Public Hearing Notices and Outreach:</b>	Legal Notice was published in the Brea Star-Progress on August 31, 2023, and approximately 22 notices were sent to all property owners within a 500-foot radius of the subject property.





# SUBJECT PROPERTY AND VICINITY MAP

DATE: September 12, 2023

CASE NO:  
ACCELA RECORD NO. PLN-2023-00029  
CONDITIONAL USE PERMIT NO. 2023-04

# OUR ORIGINAL MENU

## Classic Handrolls

Maguro (Bluefin Tuna)	11
Tuna	11
Tuna Avocado	11
Spicy Tuna	11
Salmon	11
Yellowfin Albacore	11
Hokkaido Scallop	11
Kani (Lump Blue Crab)	11
Otoro	11
Radish Spout Otoro	11
Freshwater Unagi	11
Ebi (shrimp)	11
Shrimp Tempura Crunch	11
Yellowtail	11
Sumi-Ika Shiso	11
The Veggie	11

## Signature Handrolls

Salmon, Ikura, Mustard Glaze	16
Yellow tail, Jalapeno s, Yuzu	16
North Shore Poke	16
Truffle Otoro Ikura	17
Miso Dungenuss Crab	18
Santa Barbara Uni	18
Uni Otoro	18
Lobster	19

## HosoMaki Sets (6 pcs.)

<b>Choose from:</b>	
Tuna	Hokkaido Scallop
Tuna Avocado	Spicy Hokkaido Scallop
Unagi	Yellowfin Albacore
Kani (Lump Blue Crab)	Freshwater Unagi
Spicy Tuna	Ebi (shrimp)
Salmon	Shrimp Tempura Crunch
Spicy Salmon	Sumi-Ika Shiso

Otoro	+1 per piece
Truffle Otoro	+1 per piece
Santa Barbara Uni	+1 per piece

# TEMAKI SETS

## BUILD YOUR OWN HANDROLLS

Comes with everything to make your own handroll !

Nori, rice, cucumber, radish sprouts, scallions, ginger, fresh wasabi and soy sauce.

Maki's 4 rolls per set

1  
\$19

2  
\$34

2  
\$48

### Choose from

Tuna  
Spicy Tuna  
Salmon  
Hokkaido Scallop

Spicy Hokkaido Scallop  
Yellowtail  
North Shore Poke

Truffle Otoro  
Otoro  
Santa Barbara Uni

4.00  
4.00  
4.00

# BEVERAGES & COCKTAILS

## Beverages

Non-Alcoholic

Sodas - Coke, Diet Coke, Sprite, Dr. Pepper	\$4
Auqua Panna Natural Spring Water - 25.3 oz	\$4
San Pellegrino Sparkling Water - 25.3 oz	\$4
Strawberry Lemonade	\$4
Blueberry Lemonade	\$4
Lychee Lemonade	\$4
Iced Green Tea	\$4
Iced Peach Tea	\$4
Iced Mango Tea	\$4
Hot Matcha Tea	\$4

Alcoholic

Beers On Tap (16oz.)	\$4
Sapporo	\$4
Kirin	\$4
Asahi	\$4
Michelob Ultra	\$4
Heineken	\$4
IPA, Lagunitas Brewing Co.	\$4
Corona	\$4
Stella	\$4

## Signature Sake Cocktails

Rebirth (Blackberry)	\$10
Field of Travel (Cucumber, Zucchini Water)	\$10
Toji Moon (Yuzu)	\$10
Sakura Chan (Japanese Cherry Blossom)	\$10
SakeCosmo	\$10
White Mountain (Peach)	\$10
Spring Garden (Yogurt)	\$10
Saketini	\$10
Samurai Rock (Lime)	\$7
Old Fashion	\$7
Sake Mojito	\$7
	\$7

## Bottle beers

Orion	\$4
Kawaba	\$10
Twilight Ale	\$10
Pearl Pilsner	\$10
Snow Weizen	\$10
Sunrise Ale	\$10

# Appetizers & Extras

Let's Have a Look!

## appetizers

Chuka Idako (Crispy Japanese-style baby octopus)	\$10
Tiger Shrimp Toast with House Sauce (4 pcs.)	\$10
Kumamoto Oysters (3 pcs) w/ Yuzu	\$15
Miso Garlic Scallops (3 pcs)	\$12
Garlic Soy Edamame	\$4
Panko Shishito Peppers	\$4
Seaweed Salad w/ Roasted Sesame Dressing	\$4
Miso Soup w/Tofu	\$3
Furikake Fries	\$4
Truffle Tots w/ House Made Ranch	\$4

## Extras

Chopped Wasabi	\$3
Fresh Grated Japanese Wasabi	\$4
Rhizomas (Root)	\$1
Fried Garlic Chips	\$2
Pickled Scallops	\$2
Truffle Soy	\$2
Garlic Soy	\$2
Yuzu Soy	\$3





Letter of Request

Date: April 24, 2023

Origami, LLC.  
Jay Yim  
1332 E. Valencia Drive  
Fullerton, CA 92831  
714-673-9287

Subject: Letter of Request for Origami Restaurant

Dear Kathrine Kuo,

My name is Jay Yim and I'm the owner of Origami Handroll Bar. My wife, father, and I are opening a new sushi restaurant at 1080 E. Imperial Hwy. suite E-2, Brea, CA 92821. Our operations are similar to a typical sushi restaurant, but our focus and specialty are our premium handrolls, craft beers, and sake cocktails.

Our hours of operation will be  
Sunday-Thursday 12:00 pm to 9:00 pm  
Friday -Saturday 12:00 pm to 10:00 pm

We intend to have about 15 employees.

The plaza's tenant list includes Subway, Jamba Juice, Nothing Bunt Cakes, Ortho Mattress, Kinecta Bank, Snails Pace, and Lens Crafters.

We are applying for a conditional use permit to serve beer and wine at our restaurant.

Thank you for considering our request.

I can be reached at 714-673-9287 or [jay@OrigamiHandrollBar.com](mailto:jay@OrigamiHandrollBar.com) if you have any questions or need anything from us.

Thank you,  
Jay Yim and team.



GENERAL NOTES	BUILDING DATA
<p>1. ALL ENTRANCES AND ALL EXTERIOR GROUND-LEVEL EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES, [SECTION 11B OF CBC 2019]</p> <p>2. IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS, OR SPECIAL ACCESS LIFTS. [§11209.1 CBC]</p> <p>3. COPIES OF NOTIFICATION TO AQMD SHALL BE PROVIDED TO BUILDING AND SAFETY PRIOR TO THE REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL, PER AQMD RULE 1403.</p> <p>4. IF THE CITY BUILDING INSPECTOR DETERMINES NON-COMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS, A COMPLETE AND DETAILED REVISED PLANS CLEARLY SHOWING ALL EXISTING NON-COMPLYING CONDITIONS AND THE PROPOSED MODIFICATIONS TO MEET CURRENT ACCESSIBILITY REQUIREMENTS (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.) WILL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW APPROVAL.</p> <p>5. ALL HVAC EQUIPMENT AND DUCTWORK ARE EXISTING TO REMAIN</p>	<p>GOVERNING AUTHORITY: CITY OF BREA GOVERNING CODE: 2022 C.B.C., 2022 C.P.C., 2022 C.E.C., 2022 C.M.C., 2022 C.F.C., 2022 ENERGY STANDARDS, 2022 CA GREEN BUILDING CODE</p> <p>OCCUPANCY GROUP: B NUMBER OF STORIES: 1 CONSTRUCTION TYPE: V-B EXISTING SPRINKLERED: NO PROJECT DATA: (E) FLOOR AREA: 1298 SF ZONING: C-G (General Commercial) PREVIOUS USE: COFFEE SHOP PROPOSED USE: SUSHI RESTAURANT</p>
DEFERRAL SUBMITTAL	SCOPE OF WORK
<p>STORE FRONT SIGN IS UNDER A DIFFERENT PERMIT FIRE PERMIT FOR HOOD ANSUL SYSTEM WILL BE UNDER A DIFFERENT PERMIT</p>	<p>1. TENANT IMPROVEMENT OF A RESTAURANT 2. NEW PLUMBING KITCHEN SINKS, RESTROOM FIXTURES, AND GREASE INTERCEPTOR 3. NEW NON BEARING PARTITION WALLS AND SOFFIT 4. NEW ELECTRICAL FOR OUTLETS AND LIGHTS 5. INSTALL TYPE 1 8' FEET HOOD</p>
EMERGENCY CONTACTS	NOTES
<p>JAY YIM Phone Number: 714-673-92867 KIMBERLY LOW Phone 949-398-8750</p>	<p>PATH OF TRAVEL NOTE: 1. NO abrupt CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS-SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY; INSPECTOR TO VERIFY. 2. AT LEAST 45" IN WIDTH. 3. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. 4. FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL &amp; ABOVE 27" &amp; LESS THAN 80".</p>
INDEX OF SHEETS	OCCUPANT LOAD
<p>ARCHITECTURE CS-1 SITE PLAN AS ACCESSIBLE STANDARD A-1 FLOOR PLAN A-2 EXISTING FLOOR PLAN / FIRE NOTES STRUCTURAL S-1 STRUCTURAL DETAILS PLUMBING P-1 PLUMBING DETAILS P-2 PLUMBING DETAILS P-3 WATER HEATER TITLE 24 ELECTRICAL E-1 ELECTRIC FLOOR PLANS E-2 TITLE 24 MECHANICAL M-1 NOTES, SPECS, AND SCHEDULE M-2 FLOOR PLAN AND ROOF PLAN M-3 DETAILS M-4 DETAILS M-5 DETAILS M-6 DETAILS TITLE 24 T-1 MECHANICAL SYSTEM T-2 MECHANICAL SYSTEM T-3 WATER HEATER T-4 KITCHEN HOOD</p>	<p>KITCHEN / SERVICE AREA = 461/150 S.F. = 3 PERSONS DINING AREA = 413/15 S.F. = 28 PERSONS TOTAL OCCUPANCY LOAD = 31 PERSONS # OF EXITS REQUIRED: 1 # OF EXITS PROVIDED: 1</p>
INDEX OF SHEETS	WORKING HOURS
<p>SUN THRU THURSDAY 12PM-8PM FRIDAY AND SATURDAY 12PM-10PM</p> <p>NOTE: THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.</p>	<p>SUN THRU THURSDAY 12PM-8PM FRIDAY AND SATURDAY 12PM-10PM</p>

SUMMARY	
SITE AREA:	166,110 S.F. 3.81 ACRES
BUILDING AREAS:	
SHOPS A	5,014 S.F.
SHOPS B	5,075 S.F.
SHOPS C	4,650 S.F.
RESTAURANT D & E-2	4,898 S.F.
SHOPS E-1 & E-3	2,975 S.F.
SHOPS F	16,673 S.F.
TOTAL BUILDING AREA:	39,285 S.F.

<b>PARKING PROVIDED (no change):</b>	192 STALLS
ZONE:	CG/PD
SITE COVERAGE:	24%
ADDRESSES:	
SHOPS A	1000 E. IMPERIAL HWY.
SHOPS B	1010 E. IMPERIAL HWY.
SHOPS F	1040 E. IMPERIAL HWY.
SHOPS C	1050 E. IMPERIAL HWY.
RESTAURANT D & E-2	1060 E. IMPERIAL HWY.
SHOPS E-1 & E-3	1080 E. IMPERIAL HWY.

REVISIONS	
DATE	BY
DATE 06/19/23	
DATE 08/3/23	

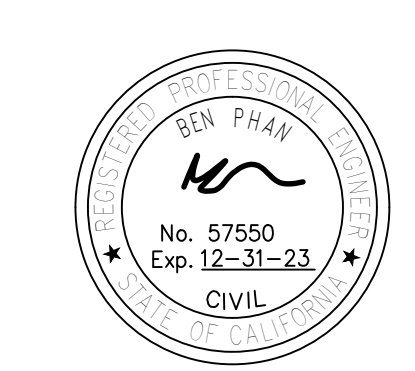
**NUGEN Construction & Engineering**  
10202 Trask Ave. Unit E  
Garden Grove, CA 92843  
714-261-3361  
Nugenconstruction.com

**ORIGAMI**  
1080 EAST IMPERIAL HWY SUITE E-2,  
BRE, CA 92821

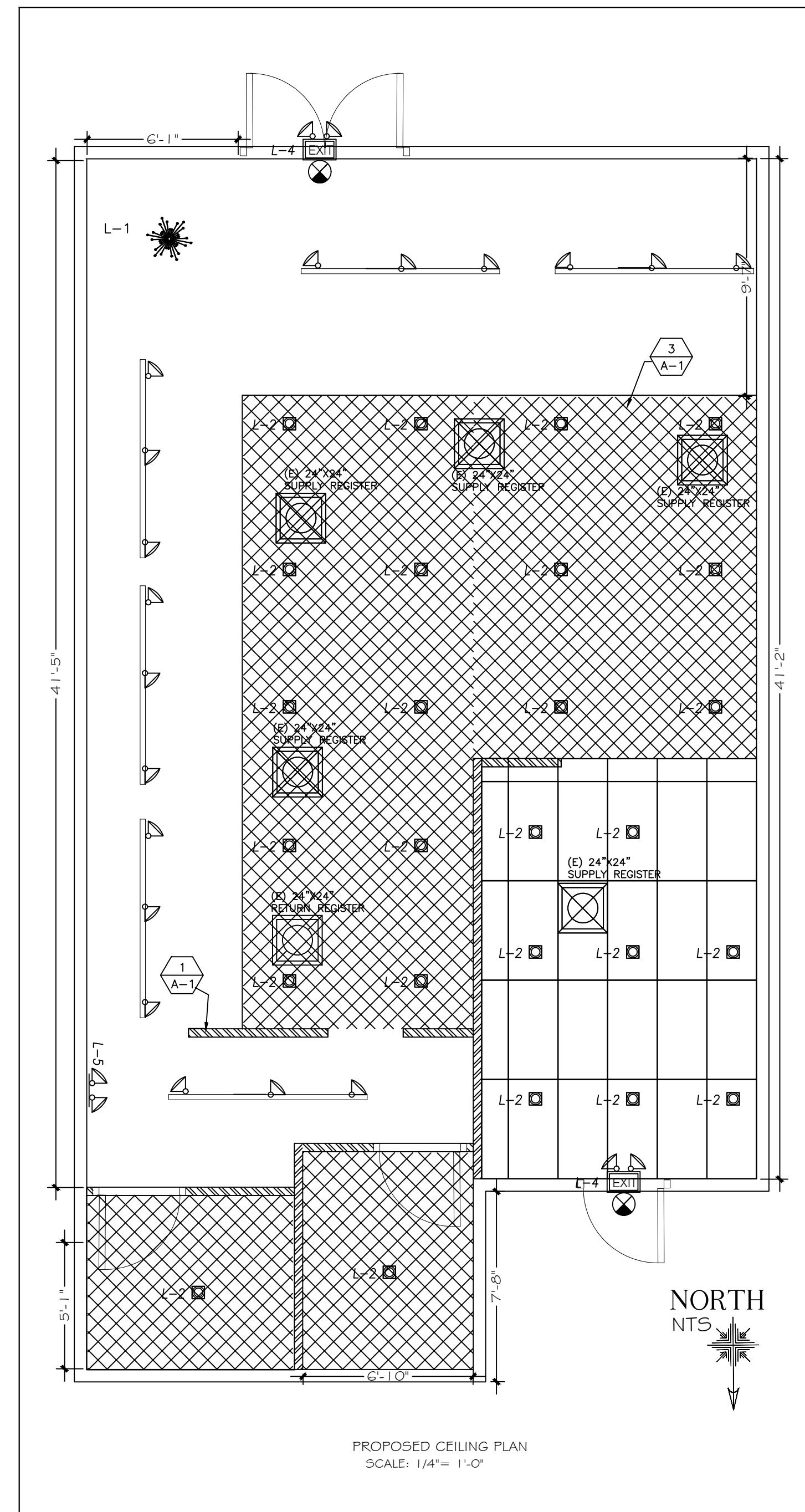
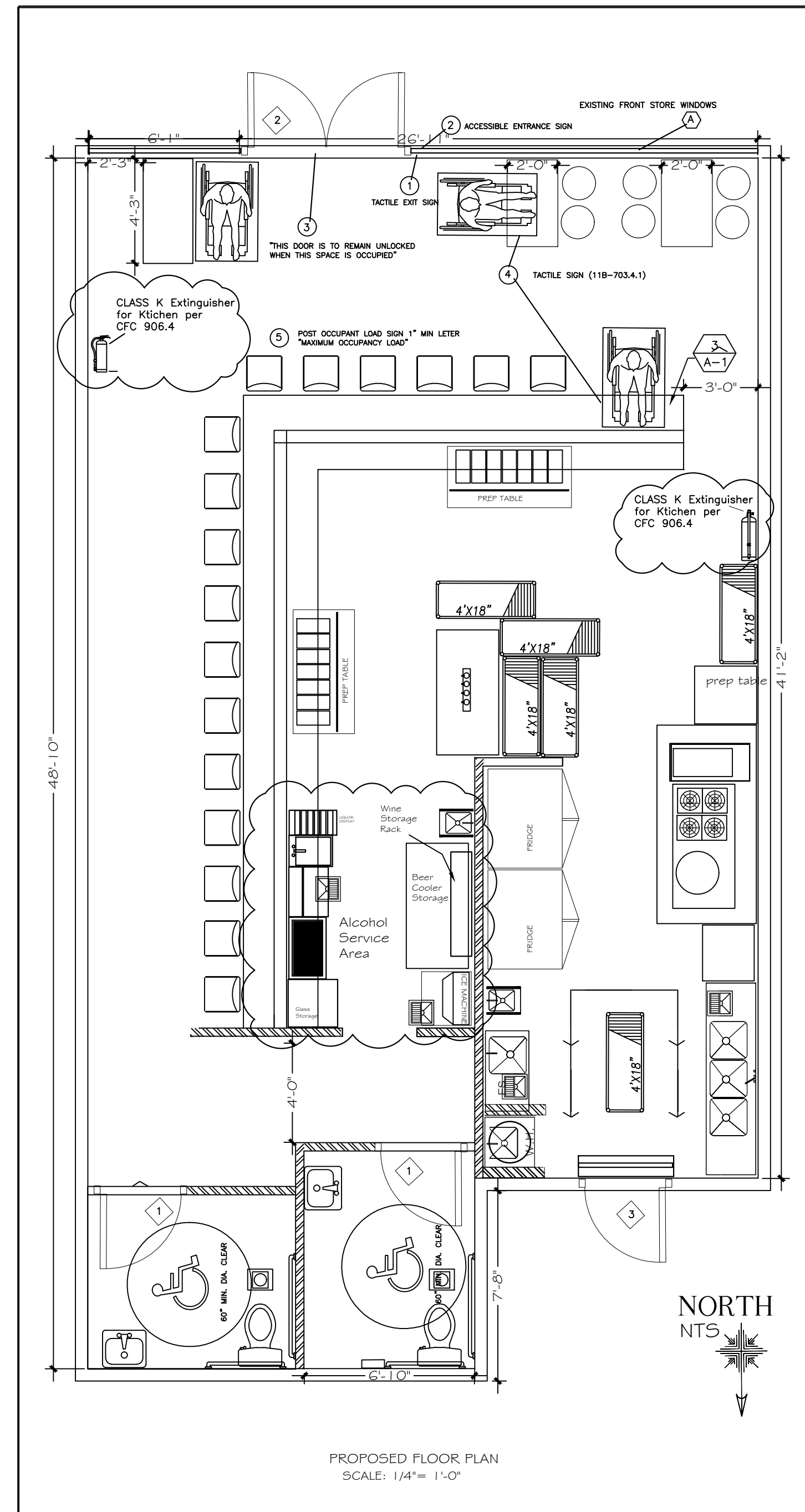
DATE 08/3/23

SHEET  
CS-1

Site Plan





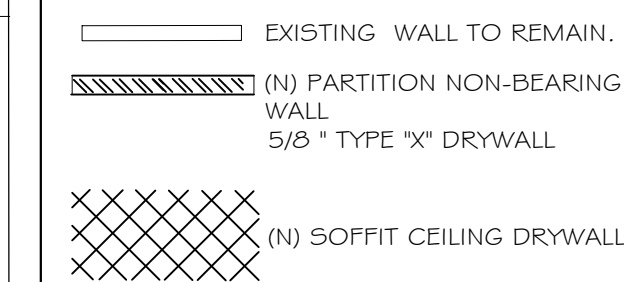


ALCOHOL CONSUMPTION IS ONLY FOR INSIDE THE RESTAURANT

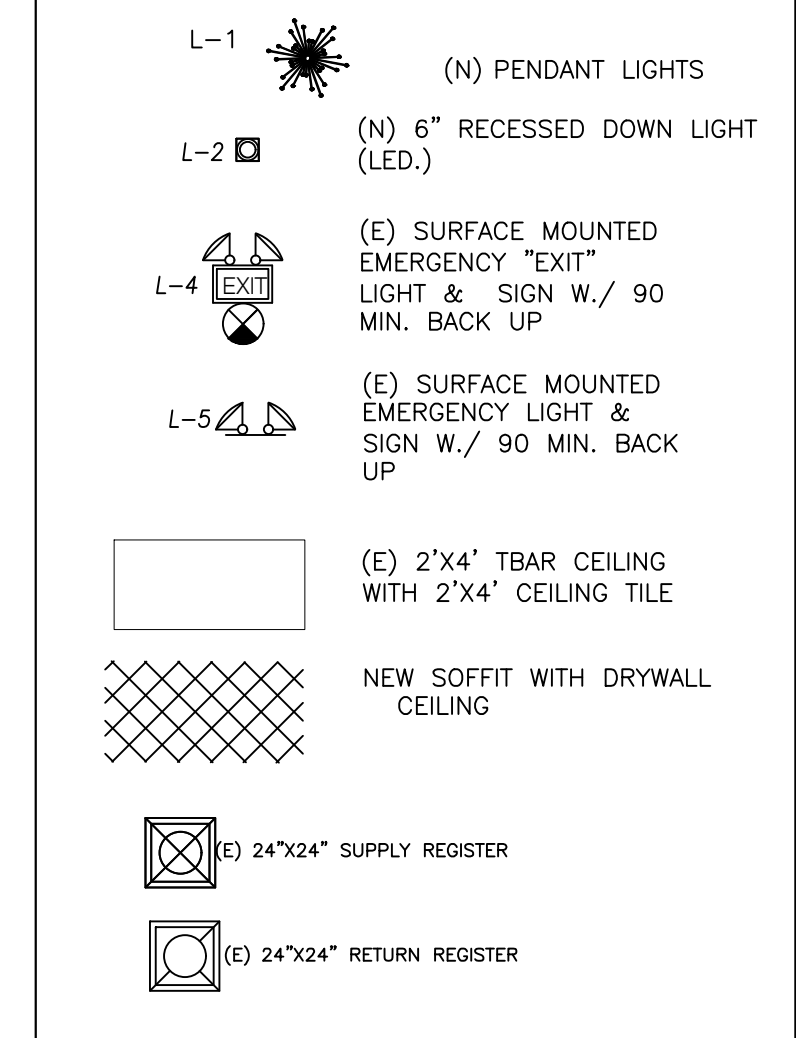
**GENERAL NOTES**

- 65% of non hazardous construction waste is to be recycled.
- All new or replaced exterior signage is under a separate permit and subject top planning approval.
- There will be no hazardous chemicals or material that will be used, handled or stored in the space.

**WALL LEGEND:**

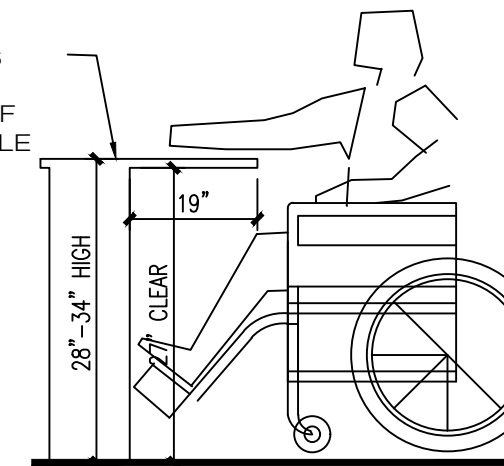


**CEILING LEGEND:**



**ACCESSIBLE COUNTER**

INDICATES SECTION CENTER OF ACCESSIBLE COUNTER



**SECTION 3** N.T.S. NOTE: PROVIDE 36\"/>

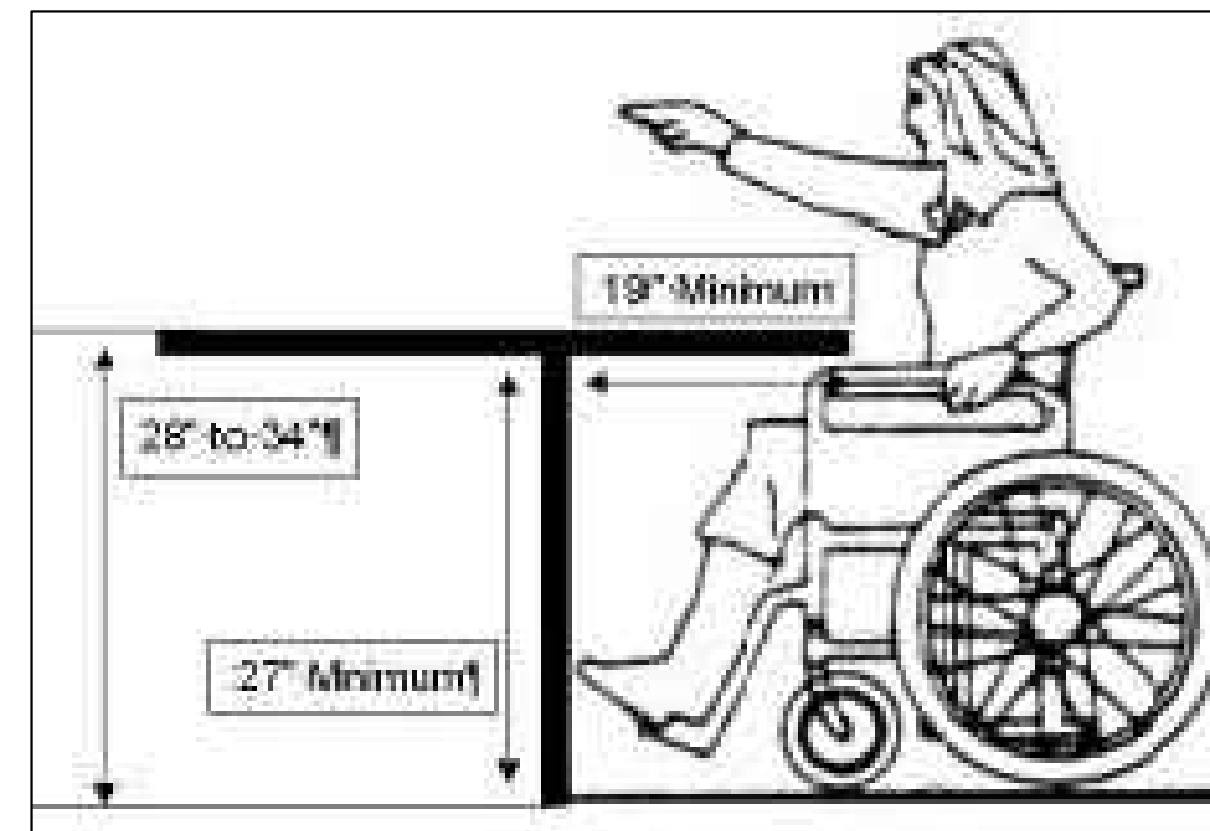
**DOORS SCHEDULE**

- (E) INTERIOR DOORS 36\"/>
- (E) EXTERIOR DOUBLE DOORS 72\"/>
- (E) EXTERIOR DOOR 36\"/>

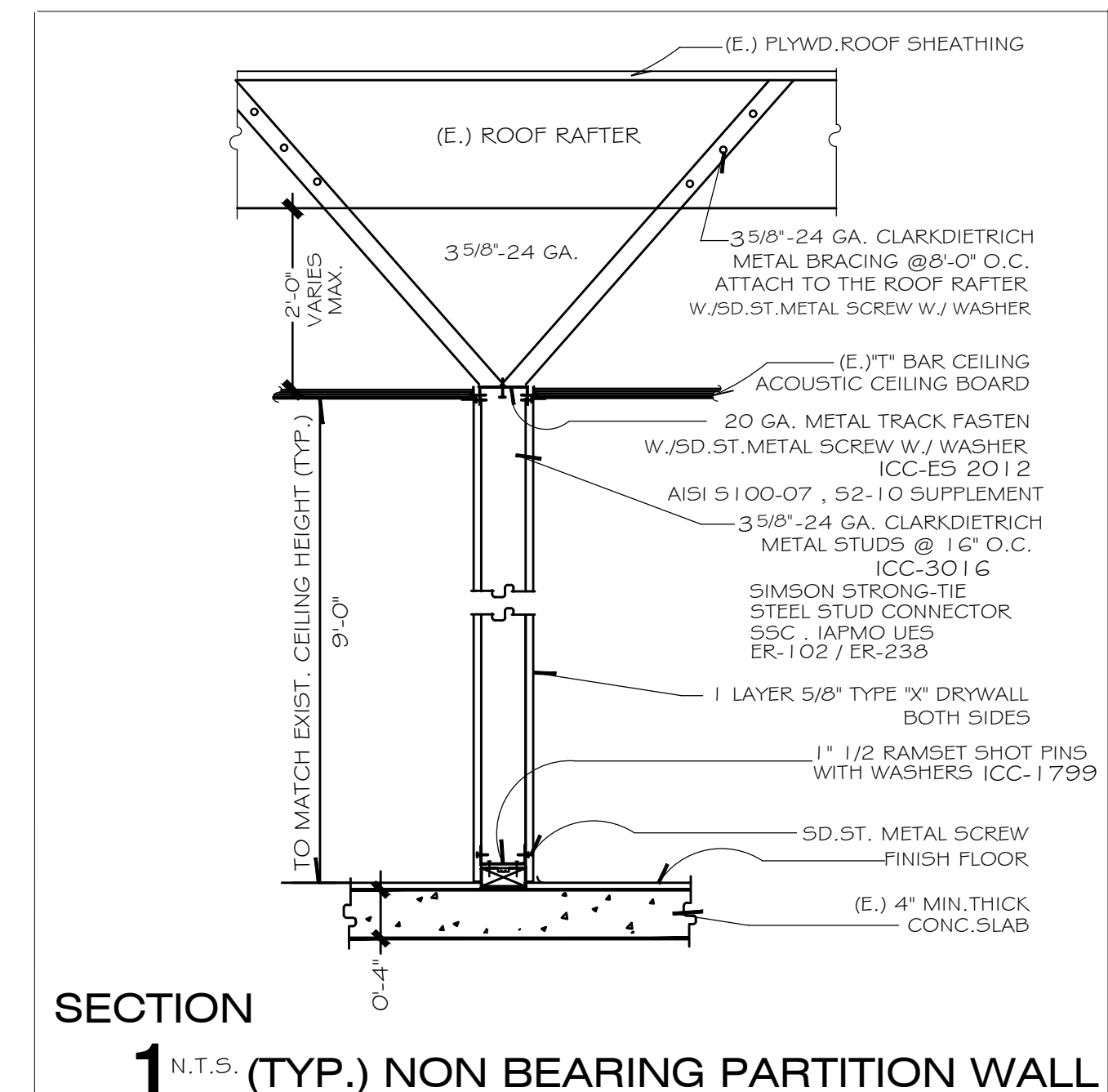
**FLOOR PLAN KEY NOTES**

- TACTILE EXIT SIGN
- ACCESSIBLE ENTRANCE SIGN
- "THIS DOOR IS TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED"
- TACTILE SIGN (118-703.4.1)
- POST OCCUPANT LOAD SIGN 1\"/>

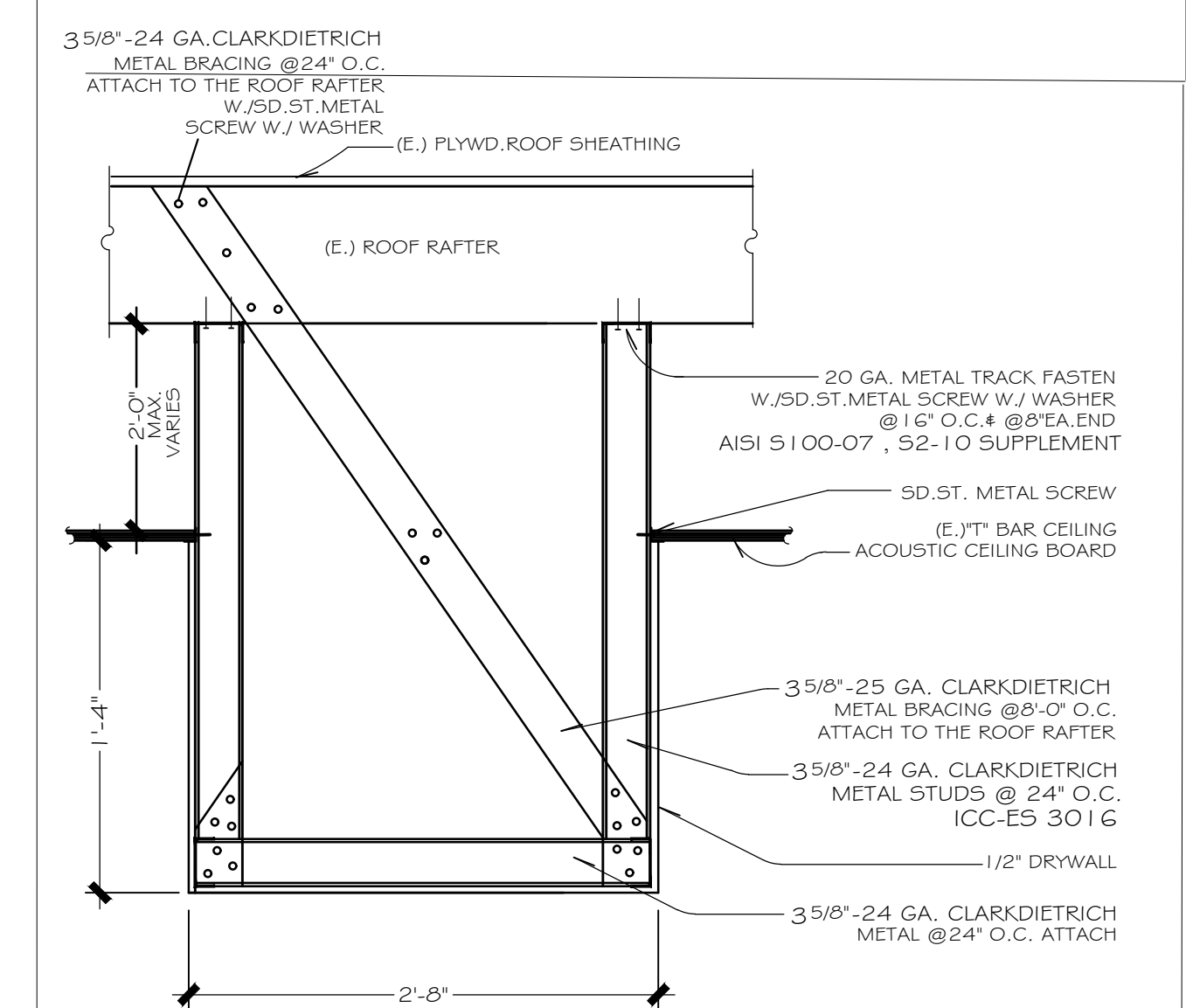
INDICATE PATH OF TRAVEL



**4** N.T.S. ADA COMPLIANT TABLE



**SECTION 1** N.T.S. (TYP.) NON BEARING PARTITION WALL



**SECTION 2** N.T.S. (TYP.) SOFFIT DETAILS

**REVISIONS**

DATE	BY
DATE 06/19/23	

**NUGEN Construction & Engineering**  
 10282 Trask Ave. Unit E Garden Grove, CA 92643  
 714-261-3361  
 nugenconstruction.com

**ORIGAMI**  
 1080 EAST IMPERIAL HWY SUITE E-2,  
 BREA, CA 92821

DATE 06/19/23

SHEET  
 A-1

Floor Plan  
 Ceiling Plan







# PROJECT APPLICATION

## GENERAL INFORMATION REQUIRED: (Print or Type)

Name of Proposed Project: Origami Handroll Bar

Location of Project (Address Required):  
1080 E. Imperial Hwy #E-2  
Brea, CA 92821

Legal Description of Project Location (Assessor's Parcel No.):  
284-181-01 to 06

## APPLICANT INFORMATION:

Applicant's Name: Jay Yim

Phone: 714-673-9287

Email: Jay @ origami handroll bar. com

Address: 1332 E. Valencia Drive

City: Fullerton

Zip Code: 92831

## TRUST ACCOUNT OWNER: (see page 4 before completing)

Name of Individual Financially Responsible for the Project: Jay Yim

Address: 1332 E. Valencia Drive

City: Fullerton

Zip Code: 92831

Email: Jay @ Origami Handroll Bar. com

Phone: 714-673-9287

## PROJECT CONTACT PERSON:

Contact Person: Jay Yim

Phone: 714-673-9287

Email: Jay @ Origami Handroll Bar. com

### STAFF USE ONLY

Accela Record Number: PLN - 2023 - 00029

**Project Manager:**

**Entitlement File Number(s):**

**Related Files:**

CUP 2023 - 04

### SUBMITTAL INFO:

Date Time Received:

Received by:

Deposit Received:

4/25/2023

EP

\$ 2,000.00

2:40 PM

**PROJECT INFORMATION:** *(Print or Type)*

Zoning Designation:

General Plan Designation:

Existing Use: *Vacant / Former  
                  coffee shop*

Proposed Use: *Sushi restaurant*

Type of Development:

Residential

Commercial

Industrial

Mixed-Use

Lot Size (square feet): *39,285*

Lot Width:

Lot Depth:

Existing Floor Area (square feet): *1390* Existing FAR:  
*Sq.ft.*

Existing Lot Coverage:

Proposed No. of Stories: *1*

Proposed Building Height:

Existing Parking Stalls: *191*

Proposed Parking Stalls: *unchanged*

**Project Description:** The project description should include a detailed description of demolition, on-side improvements, proposed use & operations, e.t.c. In addition, please describe all building material and color as well as description of signage and their location. Please provide a separate PDF attachment labeled "Project Description if more space is needed.

Check if project description is attached.

**TYPE OF REVIEW REQUESTED:** *select all that apply*

Planning Commission/City Council

Conditional Use Permit

Planned Community

Historic Designation

Development Agreement

Precise Development Plan

Zone Change

General Plan Amendment

Temporary Trailer

Zone Variance

Certificate of Compatibility

Other \_\_\_\_\_

Other \_\_\_\_\_

Administrative/Community Development Director

Administrative Remedy

Large Family Day Care

Other \_\_\_\_\_

Certificate of Compatibility

Plan Review

**PROPERTY OWNER INFORMATION & AUTHORIZATION**

(as listed in the Orange County Assessor's records)

Legal Owner's Name: KKC-Imperial, LLC Company Name: C/O Athena Property Management

Email: tran@athena-pm.com Phone: (949) 398-8750

Address: 730 El Camino way, suite 200,

City: Tustin State: CA Zip Code: 92780

I hereby certify under penalty of perjury under the laws of the State of California that I am the owner(s) of the subject property, or have been authorized to sign on behalf of the property owner, and consent to the filing of this application on the above referenced property. **If the owner did not sign below, a letter of authorization is required.**

By: [Signature] Date: 8/22/23  
(Signature)

By: Thong Van  
(Printed Name)

**DESIGN PROFESSIONAL OR OWNER OF THE COPYRIGHT IF DIFFERENT (OPTIONAL)**

Name(s): Peter Nguyen

Email: Kyvan04@gmail.com Phone: 714-261-3361

Address: 8822 Kennelly lane

City: Anaheim State: CA Zip Code: 92804

**AUTHORIZATION TO REPRODUCE PROJECT PLANS- Gov. Code § 65103.5(f)(2)**

I hereby grant permission for the City of Brea to provide the project plans for inspection as a part of the public record, to copy for members of the public, and post the plans online. This permission shall be constituted as the permission for architectural drawings that contain a copyright annotation and are protected by the federal Copyright Act of 1976 (Government Code Section 65103.5(f)(2)).

By: [Signature] Date: 8/22/23  
(Signature)

By: Peter Nguyen  
(Printed Name)

**TRUST ACCOUNT OWNER INFORMATION**

All project applications require the specified minimum deposit to a Trust Account. Additional funds and/or subsequent deposits may be required depending upon the specified project and level of staff time necessary. All unused funds will be reimbursed following the completion of project and/or review. Staff time devoted to your project will be billed according to our **Development Processing Fees**. The necessary staff time will vary according to the complexity of the project and may include, initial review and ongoing project processing by City staff including, but not limited to:

- Reviewing plans / submittal packages.
- Routing plans to, and communicating with other city staff and outside agencies.
- Researching documents relative to site history and site visits/inspections.
- Consulting with applicant and other interested parties (e.g. neighbors, adjacent property or business owners) in person or by phone.
- Preparing environmental documents, staff reports, presentations, and resolutions.
- Preparing pertinent maps, graphs and exhibits.
- Attending meetings / public hearings before the Planning Commission / City Council.
- Review of tentative maps and improvement plans by City staff.
- On-site inspections of the project by City staff.
- Consultant services

**STATEMENT OF UNDERSTANDING AND AGREEMENT**

I understand that my initial deposit is a retainer and not a fee. This deposit will be used to set up an account, against which fees shall be charged based on the hourly rate listed in the City fee schedule in effect at the time the work is performed. I understand that should the costs exceed the deposit, I will be billed monthly for any additional deposit amount intended to cover future charges. If I fail to pay the fees when due, I understand approximately that the City will stop working on the application. If the final costs are less, the unused portion of the deposit will be returned to me approximately 60 days after the conclusion of the process or final inspection of the completed project, whichever occurs later.

As the trust account owner, I assume full financial responsibility for all costs incurred by the City in processing this application(s).

**BY SIGNING BELOW, I HEREBY CONSENT THAT I UNDERSTAND THE MATTERS AS DESCRIBED ABOVE AND AGREE TO THE TERMS. I HEREBY FURTHER REPRESENT THAT I HAVE AUTHORITY TO BIND MY BUSINESS BY SIGNING ON ITS BEHALF.**

Jay Yim  
Trust Account Owner's Signature

4-24-23  
Date

Jay Yim  
Trust Account Owner Printed Name

*Staff Use Only*

ACCELA RECORD NUMBER:

TRUST ACCOUNT NUMBER:



CITY OF BREA

PLANNING COMMISSION NOTICE OF PUBLIC HEARING FOR CONDITIONAL USE PERMIT NO. 2023-04: TO ALLOW FOR ON-SITE SALES AND CONSUMPTION OF BEER AND WINE AT A NEW RESTAURANT (ORIGAMI HANDROLL BAR) LOCATED AT 1080 E. IMPERIAL HIGHWAY, SUITE E-2.

NOTICE IS HEREBY GIVEN, pursuant to State Law, that a public hearing will be held by the Planning Commission to determine whether or not the subject request shall be approved under the provisions of State Law and the Brea City Code as follows:

DATE AND TIME: Tuesday, September 12, 2023, 6:00 p.m.  
OF HEARING: All interested persons may appear and be heard at that time.

PLACE OF HEARING: Brea Civic & Cultural Center, Council Chambers  
1 Civic Center Circle, Brea, CA 92821

REQUEST: The Applicant, Origami Handroll Bar (Jay Yim), is requesting the following entitlement: Conditional Use Permit No. 2022-04 to allow for on-site sales and consumption of beer and wine at a new restaurant (Origami Handroll Bar).


LOCATION: The Project site is located in the Brea Towne Centre, at 1080 East Imperial Highway, Suite E-2. The project site has a General Plan Land Use designation of General Commercial and a Zoning designation of General Commercial (C-G) with Precise Development (P-D) Overlay.

ENVIRONMENTAL: The Project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301 (Class 1).

FURTHER INFORMATION MAY BE OBTAINED BY CALLING THE PLANNING DIVISION AT (714) 990-7674 OR BY EMAILING [PLANNER@CITYOFBREA.NET](mailto:PLANNER@CITYOFBREA.NET).

IF YOU CHALLENGE THE PROJECT AND RELATED ENVIRONMENTAL DETERMINATIONS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE, DELIVERED TO THE COMMISSION AT, OR PRIOR TO, THE PUBLIC HEARING.

COMMUNITY DEVELOPMENT DEPARTMENT

  
Joanne Hwang, AICP, City Planner

AREA MAP



CITY OF BREA  
notice of public hearing



**Planning Division**  
1 Civic Center Circle  
Brea CA 92821

1080 E Imperial Hwy



## CEQA NOTICE OF EXEMPTION

**TO:** Orange County Clerk-Recorder  
601 N. Ross Street  
Santa Ana, CA 92701

**FROM** City of Brea  
Community Development Department  
1 Civic Center Circle  
Brea, CA 92821

**PROJECT TITLE/CASE NO.:**

**CONDITIONAL USE PERMIT NO. 2023-04, TO ALLOW THE ON-SITE SALE AND CONSUMPTION OF BEER AND WINE IN A NEW RESTAURANT IN A C-G GENERAL COMMERCIAL ZONE WITH A PRECISE DEVELOPMENT (P-D) OVERLAY.**

**PROJECT LOCATION:**

1080 East Imperial Highway Suite E-2, Brea, CA 92821

**PROJECT DESCRIPTION:**

Establish the on-site sale and consumption of beer and wine at a new restaurant (Origami Handroll Bar) within an existing commercial tenant suite, which is 1,298 square feet in size.

**Name of Public Agency Approving Project:**

City of Brea

**Project Applicant & Address:**

Origami Handroll Bar (Jay Yim)  
1332 E. Valencia Drive  
Fullerton, CA 92831

**Exempt Status: (Check one)**

- |   |  |
|---|--|
| <input type="checkbox"/> Ministerial (Sec. 21080(b)(1); 15268)              | <input checked="" type="checkbox"/> Categorical Exemption (Sec. 15301) |
| <input type="checkbox"/> Declared Emergency (Sec. 21080(b)(3); 15269(a))    | <input type="checkbox"/> Statutory Exemption (15282(s))                |
| <input type="checkbox"/> Emergency Project (Sec. 21080(b)(4); 15269 (b)(c)) | <input type="checkbox"/> Other:  |

**Reason why the project is exempt:** Class 1 is applicable to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, and facilities, involving negligible or no expansion of existing or former use. The Project is limited to adding an ancillary service to a restaurant and will not expand or modify the existing building footprint.

---

Jason Killebrew, Community Development Director

---

Date

City of Brea

---

**PLANNING COMMISSION COMMUNICATION**

**TO:** Honorable Chair and Planning Commission

**DATE:** 09/12/2023

**SUBJECT:** Conditional Use Permit No. 2023-07: to allow on-site sale and consumption of beer and wine at a new restaurant (The Boiling Crab) at 120 South Brea Boulevard, Suite 103

---

**RESPECTFULLY SUBMITTED**

Joanne Hwang, AICP, City Planner

Prepared by: Cristal Nava, Assistant Planner

---

**Attachments**

Staff Report

A. Draft Resolution

B. Draft Conditions of Approval

C. Technical Background

D. Vicinity Map

E. Menu

F. Operational Plan

G. Project Plans

H. Project Application

I. Public Hearing Notice

J. Draft Notice of Exemption

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# City of Brea Planning Commission

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## Staff Report

**Meeting Date: 09.12.2023**

TO: Honorable Chair and Planning Commission

FROM: Joanne Hwang, AICP, City Planner

**SUBJECT: CONDITIONAL USE PERMIT NO. 2023-07: TO ALLOW ON-SITE SALE AND CONSUMPTION OF BEER AND WINE AT A NEW RESTAURANT (THE BOILING CRAB) AT 120 SOUTH BREA BOULEVARD, SUITE 103**

### **EXECUTIVE SUMMARY**

The Applicant, Isac Uravo, on behalf of The Boiling Crab, is requesting a Conditional Use Permit (CUP) No. 2023-07 to allow on-site sale and consumption of beer and wine at a new restaurant, inclusive of its new outdoor patio, located within Downtown Brea at 120 South Brea Boulevard, Suite 103, in the Mixed-Use I (MU-I) Zone.

The above-mentioned entitlement herein is referred to as the “Project.”

### **RECOMMENDATION**

Staff recommends that the Planning Commission adopt the Resolution (Attachment A) taking the following actions:

1. Find the Project exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Class 1, Existing Facilities); and
2. Approve CUP No. 2023-07 to allow on-site sale and consumption of beer and wine at a new restaurant (The Boiling Crab), inclusive of its outdoor patio area, based on the findings and conclusions in the attached Resolution (Attachment A), and subject to the recommended Conditions of Approval (Attachment B).

### **BACKGROUND**

The Project site is located at 120 South Brea Boulevard, Suite 103, which is a vacant tenant space within an existing commercial building that is situated at the southeast corner of Brea Boulevard and Ash Street. The subject tenant space is part of a tenant suite that was occupied by Brea Improv prior to their relocation, which was recently modified to create two separate tenant spaces to accommodate the new restaurant and an expansion of an existing restaurant (Corazon Modern Kitchen). The Project site is located within the Downtown Brea area, which is a vibrant area that features a mix of residential units, retail shops, and restaurants. The Project site has a General Plan Land Use designation of Mixed Use I and a Zoning designation of Mixed-Use I (MU-I). The surrounding land uses and zoning designation are shown in Tables 1 and 2 below.

**TABLE 1 – SURROUNDING LAND USES**

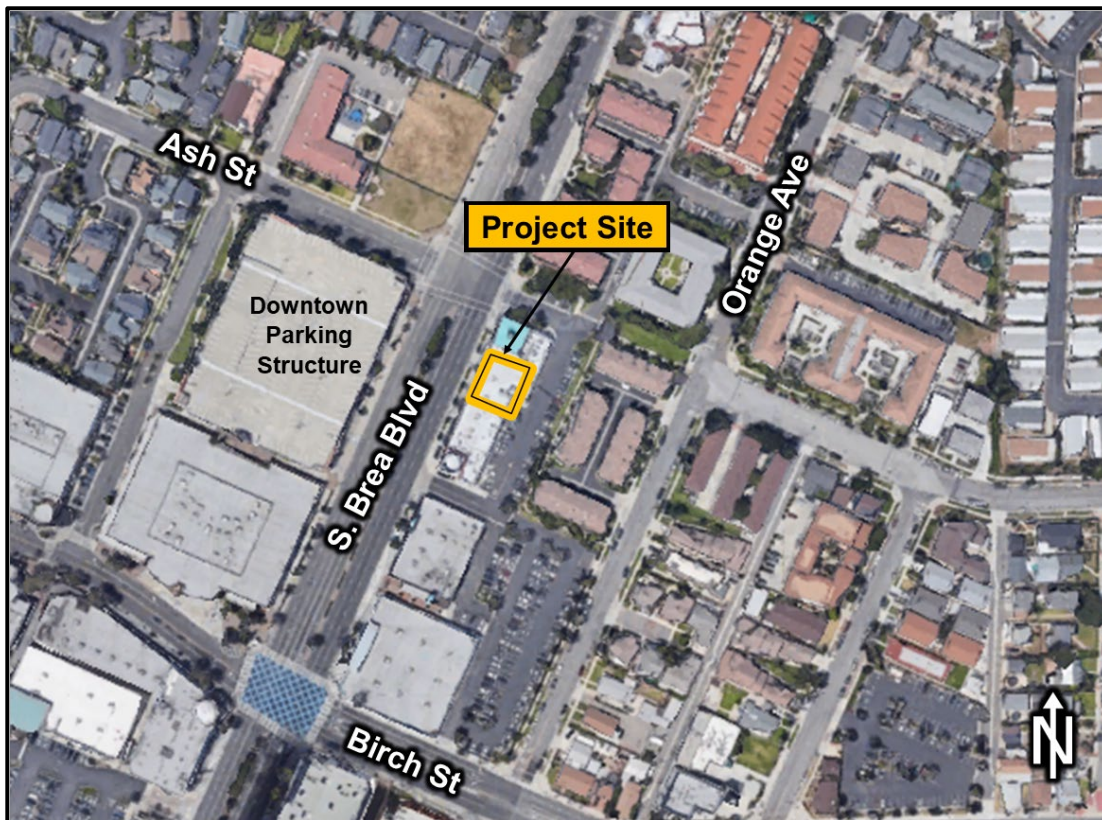
<b>North</b>	Multi-family residential homes ( <i>Across Ash Street</i> )
<b>East</b>	Multi-family residential homes
<b>South</b>	Restaurants
<b>West</b>	City parking structure ( <i>Across Brea Boulevard</i> )

**TABLE 2 – SURROUNDING ZONING DESIGNATIONS**

<b>North</b>	Multiple Family Residential (R-3)
<b>East</b>	Mixed-Use I (MU-I) and R-3
<b>South</b>	MU-I
<b>West</b>	MU-I

The Project site is currently developed with a commercial building and associated surface parking and landscaping areas. Ingress and egress to the site are provided by four driveways: one on Brea Boulevard, one on Ash Street, one on Birch Street, and one on Orange Avenue. The aerial view of the Project site is Figure 1 below.

**FIGURE 1 – AERIAL VIEW OF THE PROJECT SITE**



The Technical Background Summary and the Vicinity Map are provided in Attachment C and D, respectively.

### Entitlement History

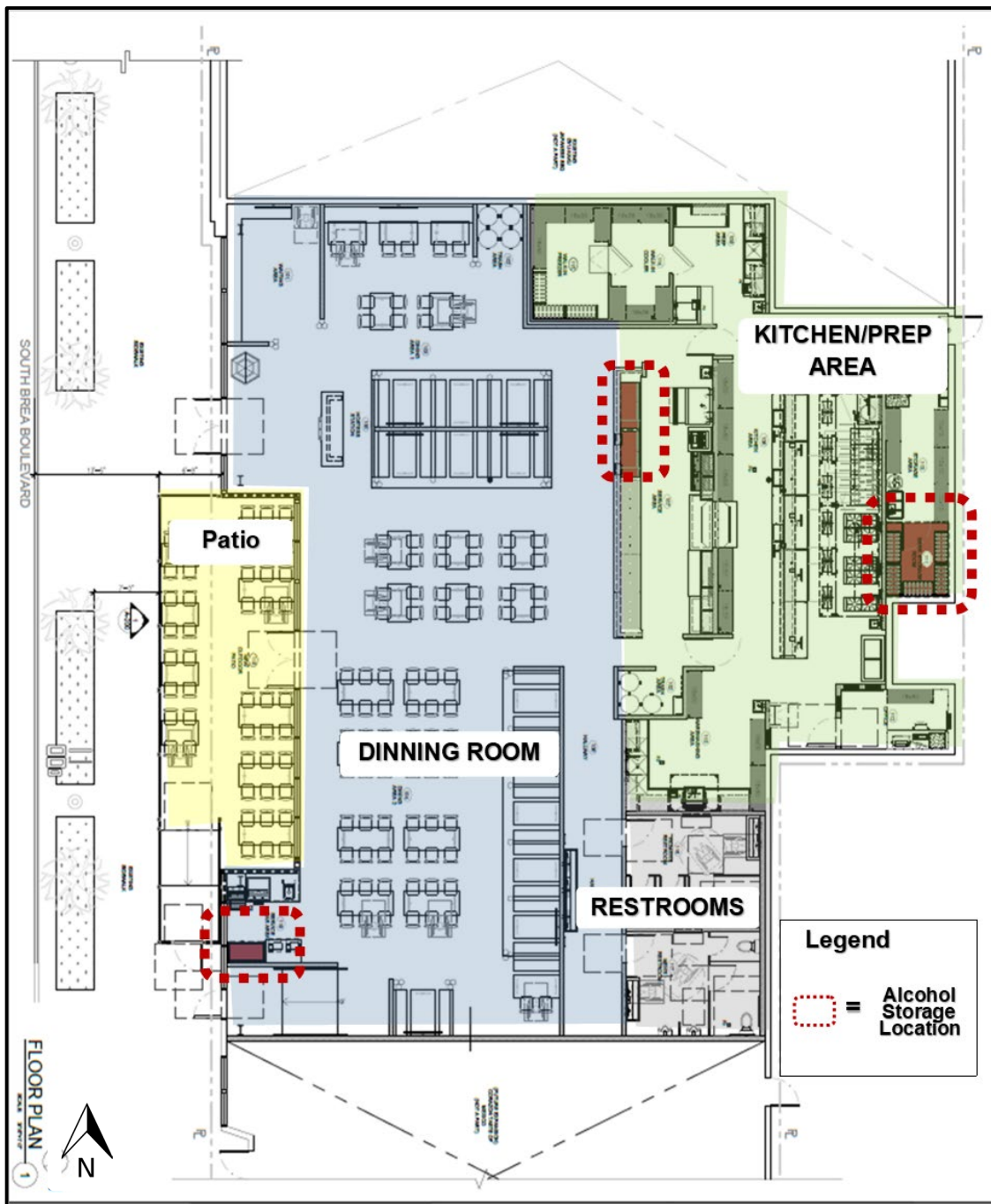
- On November 12, 2002, the Planning Commission approved CUP 02-07 for the Brea Improv to allow for indoor on-site sale of alcoholic beverages.
- On March 31, 2005, the City approved an application for the installation of an outdoor dining area within the public right-of-way for JoJo's Pizza Kitchen at 120 South Brea Boulevard, Suite 106, which is now occupied by Corazon Modern Kitchen.
- On June 5, 2023, Planning Division approved Plan Review (PR) No. 2023-03 to allow for an exterior façade remodel and patio expansion of 545 square feet for the new Boiling Crab restaurant at 120 South Brea Boulevard, Suite 103.

### PROJECT DESCRIPTION

The Applicant proposes to establish on-site sale and consumption of beer and wine (Type 41 from the California Department of Alcohol Beverage Control, or ABC) for a new restaurant (The Boiling Crab), inclusive of its new outdoor patio, located at 120 South Brea Boulevard, Suite 103. The subject tenant space is approximately 5,707 square feet, and the Applicant is currently under the building plan check process to improve the space. The planned improvement includes a new 645 square foot outdoor patio for dining, façade improvements, and associated interior tenant improvements to convert the space into a restaurant.

The Boiling Crab is a Cajun-themed chain restaurant that offers a variety of shareable family-style portion seafood platters (refer to Attachment E for the full menu). Originating in Garden Grove, The Boiling Crab has expanded to over 23 domestic locations and 5 international locations in the past 19 years, and the Applicant is proposing to establish their new location at the Project site. The proposed hours of operation are from 3:00 p.m. to 10:00 p.m. Monday through Friday, and 12:00 p.m. to 10:00 p.m. Saturday and Sunday. As part of their restaurant dining operations, The Boiling Crab is proposing to offer various beers, micheladas, and sake-based margaritas throughout the dining room and patio areas. The proposed floor plan is Figure 2 below.

**FIGURE 2 – PROPOSED FLOOR PLAN**



The Operational Breakdown, Project Plans, and Project Application are Attachments F, G, and H, respectively.

## **DISCUSSION**

### **Conditional Use Permit No. 2023-07: On-Site Sale of Beer and Wine**

Pursuant to the permitted uses in the MU-I Zone as listed in Brea City Code (BCC) Section 20.258.010, the on-site sale of alcoholic beverages is permitted subject to Planning Commission approval of a CUP.

The new restaurant is a full-service restaurant where the requested on-site beer and wine service is an ancillary use that is complimentary to the in-house dining experience. Downtown Brea is a pedestrian-oriented mixed-use area. The proposed Project will provide an additional dining option for the area, and the operating hours are compatible with the existing surrounding businesses. Since the proposed on-site beer and wine service is an ancillary use to the primary restaurant use, there would be no impact on the parking need of the restaurant. In addition, the Project was also reviewed by the Fire and Police Departments and the Building & Safety Division. The Project is required to meet all Building and Fire codes and standards, thereby assuring public health, safety, and welfare.

To further ensure the Project would be compatible with surrounding uses and not adversely affect the public, health, or general welfare, staff has prepared draft Conditions of Approval (Attachment B). Notable conditions include:

- Condition 2 & 3: The applicant is required to obtain and maintain a “Type 41” license from ABC.
- Condition 7: No live entertainment on the premises would be permitted unless proper permits have been obtained.

As such, the Project, as proposed and conditioned, is not anticipated to negatively affect the health and safety of the surrounding neighborhood.

## **PUBLIC NOTICE AND COMMENTS**

This Project was noticed in accordance with the City’s public notice requirements, which involved mailed notices sent to property owners within 500 feet of the Project site, and publication in the Brea Star-Progress. The public hearing notice for this Project is provided in Attachment I. As of the writing of this report, staff has not received public comments.

## **ENVIRONMENTAL ASSESSMENT**

The Project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. The Class 1 exemption applies to on-site sale and consumption of beer and wine because the Project is limited to adding an ancillary service to a restaurant and does not include physical expansions or modification of the existing building. Therefore, the Project is categorically exempt from the provisions of CEQA. The draft Notice of Exemption is Attachment J.

**CONCLUSION**

For the reasons discussed above and the information attached to this report, the Project would conform with all the requirements of the General Plan and the provisions of the BCC. The proposed recommendation would not have an adverse effect on the public, health, safety, or general welfare. Therefore, staff recommends approval of the Project.

Prepared by:



Cristal G. Nava  
Assistant Planner

**ATTACHMENTS**

- A. Draft Resolution Conditional Use Permit No. 2023-07
- B. Draft Conditions of Approval
- C. Technical Background
- D. Vicinity Map
- E. The Boiling Crab Menu
- F. Operations Breakdown
- G. Project Plans
- H. Project Application
- I. Public Hearing Notice
- J. Draft Notice of Exemption

**RESOLUTION NO. PC 2023-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BREA APPROVING CONDITIONAL USE PERMIT NO. 2023-07: TO ALLOW ON-SITE SALE AND CONSUMPTION OF BEER AND WINE AT A NEW RESTAURANT (THE BOILING CRAB) LOCATED AT 120 SOUTH BREA BOULEVARD, SUITE 103.**

**A. RECITALS:**

(i) The Planning Commission of the City of Brea (the “Planning Commission”) did receive a verified petition for the approval of Conditional Use Permit (CUP) No. 2023-07 to allow on site-site sale and consumption of beer and wine at a new restaurant The Boiling Crab, inclusive of its outdoor patio area (referred to herein as the “Project”), for that certain real property located at 120 South Brea Boulevard, Suite 103, in the City of Brea, and further legally described as Assessor Parcel Number 296-364-25, as shown in the latest records of the County of Orange Assessor’s Parcel Office.

(ii) The Project applicant is The Boiling Crab (Isac Uravo), 5811 McFadden Ave, Huntington Beach, CA 92649.

(iii) The Project site is zoned Mixed-Use I (MU-I) and designated as Mixed-Use I by the General Plan.

(iv) On September 12, 2023, the Planning Commission held a duly noticed public hearing on the Project, during which it received and considered all evidence and testimony presented prior to the adoption of this resolution.

(v) All legal prerequisites to the adoption of this Resolution have occurred.

**B. RESOLUTION:**

**NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED** by the Planning Commission of the City of Brea, as follows:

1. In all respects as set forth in Recitals, Part A, of this Resolution.
2. The Project identified above in this Resolution has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines, and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301. Class 1 applies to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The Project involved the establishment of on-site sale and consumption of beer and wine with no proposal to expand the existing building footprint.
3. The Commission further finds in consideration of CUP No. 2023-07 as follows:
  - a. Finding: That the use applied for at the location set forth in the application is properly one for which a Conditional Use Permit is authorized by this title.
  - Fact: The Project site is zoned Mixed-Use I. Pursuant to section 20.236.020 of the Brea City Code, a restaurant is permitted a use, while on-site sale of alcohol requires the review and approval of a conditional use permit.
  - b. Finding: That said use with any conditions to be imposed is necessary or desirable for the development of the community, in harmony with the various elements or objects of the General Plan, and not detrimental to existing uses or to uses specifically permitted in the zone which the proposed use is to be located.



Fact: The Project is located within the Downtown Brea area, a mixed-use pedestrian-oriented area that offers the opportunity for people to live, work, and recreate. The proposed on-site sale and consumption of beer and wine within a restaurant is consistent with the General Plan Policy CD-1.11 in that it will maintain a mixture of business and retail uses within the community. As the request for on-site sale and consumption of beer and wine is ancillary to a restaurant use, this project is not anticipated to result in significant impacts on City services nor to be detrimental to existing uses in the zone.

c. Finding: The site is adequate in size and shape to accommodate the proposed development and all of the yards, setbacks, walls, fences, landscaping, and other features require to bring about conformity with other elements in the neighborhood.

Fact: The Project site is an existing tenant space with an indoor space of 5,707 square feet in size and a future 645 square-foot outdoor patio area that is located in the Downtown Brea area. The Project would occur within the existing and planned areas of the Project site and as such, the Project site is adequate in size and shape to accommodate the proposed development.

d. Finding: That the proposed site relates to streets and highways which are properly designed and improved to carry the type and quality of traffic generated or to be generated by the proposed development.

Fact: Vehicular access to the Project site will continue to be provided off Brea Boulevard, Ash Street, Orange Avenue, and Birch Street. The

Project is adding an ancillary service to a restaurant and it is not anticipated to result in any traffic impacts to the adjacent uses.

e. Finding: With conditions stated in the permit, the uses will not adversely affect public health, safety, or general welfare.

Fact: The Project is designed to comply with all applicable development standards and will operate similarly to other existing commercial land uses in Downtown Brea. All activities will be conducted within the restaurant's customer seating areas, including the outdoor patio, and conditions of approval have been included to ensure the use of the site will not affect adjacent properties and land uses.

4. CUP No. 2023-07 is hereby approved, subject to the conditions of approval found in Exhibit A of this resolution.

5. The Secretary of this Commission shall certify the adoption of this Resolution.

**ADOPTED AND APPROVED** this 12<sup>th</sup> day of September 2023.

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Chair, Planning Commission

I, Joanne Hwang, Secretary to the Planning Commission of the City of Brea, do hereby certify that the foregoing Resolution was introduced at a regular meeting of the Planning Commission of the City of Brea held on the 12<sup>th</sup> day of September 2023 and was finally passed at a regular meeting of the Planning Commission of the City of Brea, held on the 12<sup>th</sup> day of September 2023, by the following votes:

**Resolution No. 2023-xx**

**Page 5**

**Applicant: The Boiling Crab**

**CUP No. 2023-07**

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

ATTEST:

\_\_\_\_\_  
Secretary, Planning Commission

DRAFT

**ATTACHMENT A OF RESOLUTION NO. 2023-XX  
CONDITIONAL USE PERMIT NO. 2023-07**

**CONDITIONS OF APPROVAL**

Conditional Use Permit (CUP) No. 2023-07 is hereby approved, subject to the conditions as set forth herein:

Planning Division – Community Development Department

1. Development and operations of the Project shall occur in substantial compliance with the plans and documents reviewed and approved by the Planning Commission on September 12, 2023, which include an operations breakdown, site plan, and floor plan on file with the Planning Division, the conditions contained herein and all applicable Federal, State, County and local regulations. The City Planner may approve minor modifications to the operations and approved project plans.
2. The applicant shall obtain a “Type 41” alcoholic beverage license from the California Department of Alcohol Beverage Control (ABC) for the sale of alcoholic beverages prior to commencing the on-site beer and wine service. Any modifications of license types for on-site consumption are subject to City approval from the Planning Commission.
3. The applicant shall maintain a “Type 41” alcoholic beverage license from the ABC as long as on-site sale of beer and wine is provided at the Project site.
4. Any violation of the regulations of the ABC, as it pertains to the subject location and the on-site sale and consumption of beer and wine, may result in the revocation of the subject CUP, as provided for in Section 20.412.020 of the Brea City Code.
5. The on-site sale and consumption of beer and wine shall remain incidental to the food service and the operation of the restaurant.
6. Service of alcoholic beverages shall be allowed to occur within the areas designated as customer seating and outdoor dining.
7. There shall be no live entertainment, amplified music, or dancing permitted on the premise at any time unless the proper permits have been obtained from the City of Brea.
8. The business operations shall comply with the City’s Noise Ordinance.
9. The hours of alcohol sales shall be restricted to the hours of the restaurant (hours of operation).

10. The Applicant shall install interior and exterior surveillance cameras and ensure the cameras are in working condition.
11. There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of beer and wine.
12. The Applicant is responsible for paying all charges related to the processing of the Project within 30 days of the issuance of the final invoice or prior to the issuance of building permits for the Project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.
13. Any permit is subject to expiration and revocation as provided in Chapter 20.412.020, and said provisions are specifically made a part hereof without negating the applicability of any other provision of this title or any other ordinance.
14. To the fullest extent permitted by law, the applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees (“Indemnitees”) free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of Conditional Use Permit No. CUP 2023-07 and (ii) any and all claims, lawsuits, liabilities, and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant’s obligation to indemnify, defend and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitee’s choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorney’s fees in any such lawsuit or action.

**TECHNICAL BACKGROUND**

<b>Case No:</b>	Conditional Use Permit (CUP) No. 2023-07
<b>Property Location:</b>	120 South Brea Boulevard, Suite 103
<b>Tenant Space Size:</b>	5,707 SF and a 645 SF patio
<b>Applicant:</b>	Isac Uravo (The Boiling Crab) 5811 McFadden Avenue Huntington Beach, CA 92649
<b>General Plan Designation:</b>	Mixed Use I
<b>Zoning Designation:</b>	Mixed-Use I (MU-I)
<b>Adjacent Zoning</b>	
<b>North:</b>	Multiple Family Residential (R-3)
<b>South:</b>	MU-I
<b>West:</b>	MU-I
<b>East:</b>	MU-I and R-3
<b>Site and Neighborhood Characteristics:</b>	The project site is located at the southeast corner of Brea Boulevard and Ash Street, within Brea's Downtown area. The site is surrounded by various mixed land uses.
<b>Public Hearing Notices and Outreach:</b>	Legal Notice was published in the Brea Star-Progress on August 31, 2023 and approximately 117 notices were sent to all property owners within a 500-foot radius of the subject property.



## SUBJECT PROPERTY AND VICINITY MAP

DATE: September 12, 2023

CASE NO:  
ACCELA RECORD NO. PLN-2023-00039  
CONDITIONAL USE PERMIT NO. 2023-07



# The Boiling Crab®

Rowland Heights, CA • (626) 964-9300

## Get DOWN 'n' DIRTY...

Your fresh catch is steamed or boiled in our Cajun-style blend of spices, then tossed with one of our signature seasonings for some dirty fun.

	<b>BLUE CRAB</b> (60-780 cal) ..... \$ Market Price (seasonal)
	<b>RAW OYSTERS*</b> (120 cal) ..... \$17.00 / 6 pcs. (170 cal) ..... \$30.00 / 12 pcs.
	<b>DUNGENESS CRAB</b> (330-1790 cal) ..... \$ Market Price (seasonal)
	<b>SNOW CRAB LEGS</b> (100-820 cal) ..... \$ Market Price
	<b>KING CRAB LEGS</b> (100-870 cal) ..... \$ Market Price
	<b>LOBSTER</b> (210-1660 cal) ..... \$ Market Price (seasonal)
	<b>SHRIMP</b> (270-860 cal) ..... \$ Market Price
	<b>CRAWFISH</b> (60-780 cal) ..... \$ Market Price (seasonal)
	<b>CRAWFISH</b> (FROZEN, 70-790 cal) ..... \$ Market Price
	<b>CLAMS</b> (90-820 cal) ..... \$14.00 / LB.
	<b>MUSSELS</b> (160-870 cal) ..... \$14.00 / LB.

## Pick a Seasoning!

**CAJUN CAJUN**  
(original)

**LEMON PEPPER**

**GARLIC SAUCE**

**THE WHOLE SHA-BANG!®**  
(mix all three)

**EXTRA JUICY** (1820 cal) ..... \$4.50  
WILL BE ADDED TO SEAFOOD BAG ONLY, LIMITATIONS APPLY.

## How SPICY can you go?

**NON SPICY**  
(plain 'n' simple)

**MILD**  
(just a kick)

**MEDIUM**  
(it's gettin' HOT 'n here)

**XXX**  
(I can't feel my mouth)

## I like it FRIED!

Each selection is made to order, hand-tossed in our homemade batter and fried to perfection. Baskets with (\*) include Cajun or LP fries (no substitutions).

<b>FRIED SOFTSHELL CRAB BASKET*</b> (830 cal) .....	\$16.00
<b>FRIED CATFISH BASKET*</b> (1570 cal) .....	\$12.00
<b>FRIED SHRIMP BASKET*</b> (1530 cal) .....	\$14.00
<b>CHICKEN TENDERS BASKET*</b> (1180 cal) .....	\$10.00
<b>KIDS' CHICKEN TENDERS BASKET*</b> (650 cal) .....	\$6.00

\*WARNING: This facility offers raw oysters from different regions of the USA such as, but not limited to, the Pacific Northwest, East Coast, and Gulf of Mexico. Consuming these oysters and any raw or undercooked meats, poultry, seafood, shellfish, or eggs may cause severe illness and even death in persons who have liver disease, cancer or other chronic illnesses that weaken the immune system. If you eat raw oysters and become ill, you should seek immediate medical attention. If you are unsure if you are at risk, you should consult your physician.



## Like it FRIED! (continued)

Each selection is made to order, hand-tossed in our homemade batter and fried to perfection. Baskets with (\*) include Cajun or LP fries (no substitutions).

FRIED CALAMARI (810 cal) .....	\$10.00
FRIED OYSTERS (440 cal) .....	\$12.00
SHA-BANG BANG SHRIMP (1000 cal) .....	\$12.00
HOT WINGS (CAJUN or LEMON PEPPER, 820 cal) .....	\$11.00 / 6 pcs.
(CAJUN or LEMON PEPPER, 1260 cal) .....	\$17.00 / 10 pcs.

## EXTRAS

GUMBO (130-180 cal) .....	\$7.50
EXTRA SHRIMP OR SAUSAGE .....	\$0.50
CORN ON THE COB (90-270 cal) .....	\$1.75 / each
SAUSAGE (540 cal) .....	\$7.00 / link
POTATOES (190-550 cal) .....	\$2.50 / 3 pcs.
HARD-BOILED EGGS (240 cal) .....	\$4.00 / 3 eggs
CRABBER FRIES (1290 cal) .....	\$15.00
(800 cal) .....	\$9.00 / half order
CAJUN FRIES (580 cal) .....	\$6.50
LEMON PEPPER FRIES (580 cal) .....	\$6.50
SWEET POTATO FRIES (690 cal) .....	\$7.00
STEAMED RICE (370 cal) .....	\$2.50
EXTRA CONDIMENTS (70-400 cal) .....	\$0.75 / each
Garlic Sauce, Ketchup/Mayo, Mayo, G's Sea-Sauce, BBQ, Ranch, Tartar, Cocktail	

## THIRSTY?

ASSORTED SODAS & TEAS (0-310 cal) .....	\$3.00
Coke, Diet Coke, Sprite, Root Beer, MinuteMaid Lemonade, Hi-C Fruit Punch, Dr. Pepper, Green Tea (Sweetened), Black Tea (Sweetened or Unsweetened), Raspberry Tea (Sweetened)	
DOMESTIC BEERS (110 cal) .....	\$5.50
Bud Light	
IMPORTED / SPECIALTY BEERS (96-247 cal) .....	\$6.00
Blue Moon, Corona, XX, Heineken, Modelo, Modelo Negra, Michelob Ultra, Pacifico, Stella Artois, Golden Road Mango Cart, Firestone 805, Elysian Space Dust IPA	
TBC MARGARITA (300 cal) .....	\$12.00
SABÉ Blanco, Fresh Lime Juice, & House-made Simple Syrup	
TBC MICHELADA (230 cal) .....	\$11.00
Select Beer (please ask servers for beer recommendations), Clamato, Tabasco, Fresh Lime Juice, & House Michelada Seasoning	

\*AVISO IMPORTANTE: Esta instalación ofrece ostras crudas de diferentes regiones de los USA tales como, pero no limitados, al Noroeste del Pacífico, Costa Este y el Golfo de México. Consumir ostras y cualquier carne cruda o poco cocida, aves, mariscos o huevos pueden causar una enfermedad grave y hasta la muerte en las personas que padecen de enfermedades del hígado, cáncer u otras enfermedades crónicas que debilitan el sistema inmunológico. Si usted come ostras crudas y se enferma, debe buscar atención médica inmediatamente. Si usted cree estar en peligro, debe consultar a un médico.



June 6, 2023

The Boiling Crab  
5811 McFadden Ave  
Huntington Beach, CA 92649

**RE: Letter of Request for New Alcohol Conditional Use Permit (CUP)  
120 S Brea Blvd (Suite103) Brea, CA 92821**

### **I. Project & Proposal Description**

This letter of request is for an Alcohol Conditional Use Permit for a new outdoor dining area and existing interior of the restaurant “The Boiling Crab,” located at 120 S Brea Blvd (Suite 103). After discussion with the Planning Division, it was advised to submit an application for a new CUP as opposed to a CUP amendment. The Boiling Crab will be applying for (1) liquor license: Type 41 Beer & Wine License. The purpose of the new CUP is to establish the alcohol service area, expand the area to include the new outdoor patio, and prevent future alcohol licensing issues with this tenant space.

### **II. Operations**

The Boiling Crab is a cajun-inspired seafood restaurant that originated in Garden Grove, California in 2004. Since then, the company has expanded to over 23 domestic locations and 5 international locations in China, Australia, and Saudi Arabia. The Boiling Crab offers seafood boils with various shellfish (shrimp, crawfish, lobster, crab, clams, mussels), along with extras such as potatoes, corn, and sausage so guests may fully customize their boil to their liking. TBC’s menu also includes fried items such as catfish, soft-shell crab, calamari, and chicken wings. With shareable, family-style portions, plus our famous bibs and butcher-paper table coverings, patrons are encouraged to eat with their hands in the name of “Dirty Fun”. Our friendly crew leads our guests through this unique dining experience with knowledge and ease, ensuring an enjoyable time for all.



The Boiling Crab's seafood boils are served with a selection of signature sauces. TBC is most famous for the flavorful and addictive Whole Sha-Bang!® sauce - which is often imitated but never duplicated. Visitors can enjoy the southern hospitality of a backyard seafood boil in the comfort of their own neighborhood.

Overall, dining at The Boiling Crab is a distinctive peel-and-eat concept that cannot be found at any other restaurant within the vicinity. We are planning to have an indoor and outdoor area for guests to enjoy our food and beverages. The allowance of alcohol sales in both areas will greatly enhance the enjoyment and comfort of all patrons.

### **III. Number of Employees**

The restaurant will have 65 employees total including Front of House and Back of House.

### **IV. Hours of Operation**

The hours of operation are as follows:

Monday-Friday: 3PM-10PM

Saturday-Sunday: 12PM-10PM

### **V. Alcohol Requests**

The Boiling Crab will be applying for (1) liquor license: Type 41 Beer & Wine License. Types of alcohol to be offered include various beers and mixed drinks such as micheladas and sake-based margaritas (no tequila included).

The Boiling Crab is proposing that the alcohol service area include both the interior of the restaurant and also the outdoor patio. Alcohol sales on the outdoor patio would greatly enhance the enjoyment and comfort of all patrons while allowing operations to go smoothly without area restrictions. While alcoholic beverage sales will generate a small percentage of the overall sales, the new Conditional Use Permit is requested as a service and convenience to the customers as an integral part of the dining experience. The CUP will allow patrons the same service that they experience at other local restaurants.



The Boiling Crab's Alcohol Menu (as well as Food Menu) has been attached to the end of this letter. Please disregard the title "Rowland Heights"- the attached menu is the closest, if not identical to the Brea location's menu based on area pricing.

**VI. Additional Information**

If you have any questions or need additional documents, please do not hesitate to contact me at [maria@theboilingcrab.com](mailto:maria@theboilingcrab.com).

Sincerely,

---

Maria Stonehouse  
Design & Development  
The Boiling Crab



# The Boiling Crab

@ BREA

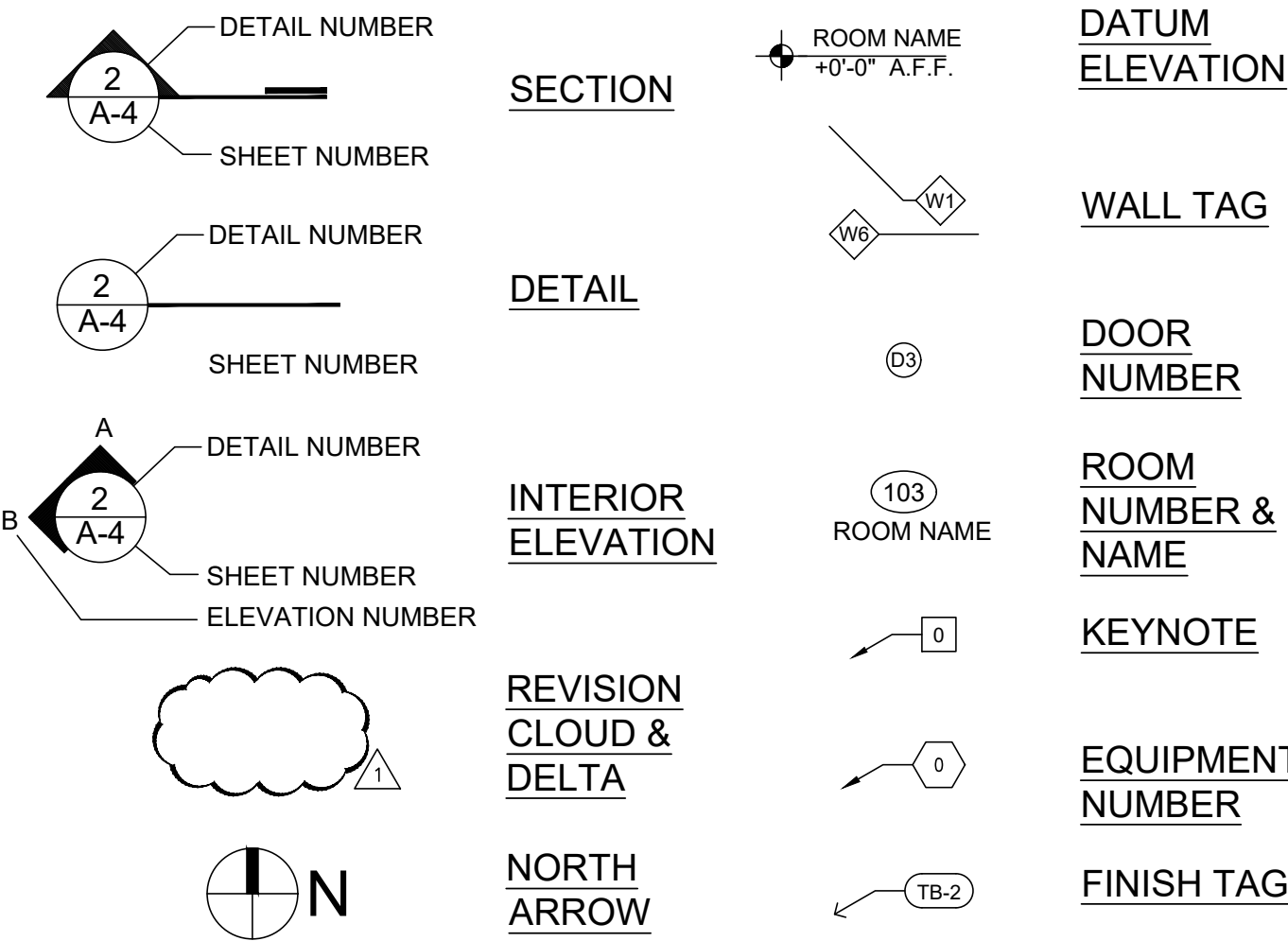
120 S. BREA BLVD., SUITE 103, BREA, CA 92821



## GENERAL NOTES

- ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS, AND ORDINANCES AND AS SPECIFIED BY ALL GOVERNING AUTHORITIES WHERE APPLICABLE. REFERENCE IS TO THE LATEST ACCEPTED EDITION OR REVISION. IN THE EVENT OF CONFLICT WITH CODE REQUIREMENTS, THAT CODE REQUIREMENT OR NOTE WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS, OR WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY FOR CLARIFICATION.
- DIMENSIONS ARE FROM FACE OF WALL OR TO CENTER OF WALL AS INDICATED ON DRAWINGS, UNLESS NOTED OTHERWISE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. WALLS NOT DIMENSIONED ARE TO ALIGN WITH EXISTING WALLS OR BE ABUTTED OR APPLIED TO EXISTING WALLS PER DRAWINGS. DOORS NOT DIMENSIONED AND SHOWN JAMB TIGHT SHALL BE SET 3" FROM PERPENDICULAR WALL TO OUTER EDGE OF DOOR JAMB.
- REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE AND PROVIDE NECESSARY BRACING PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AS WELL AS THE DRAWINGS OF OTHER CONSULTANTS, ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF WORK SHOWN ON THE DRAWINGS OF CONSULTANTS. THE CONTRACTOR SHALL BRING ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS AND NOT BROUGHT TO THE ARCHITECT'S ATTENTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND AT NO EXPENSE TO THE OWNER OF ARCHITECT.
- PRIOR TO PERFORMANCE OF WORK, THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS FOR HIS TRADE THAT CANNOT BE FULLY GUARANTEED.
- CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL OPENINGS WITH ALL DRAWINGS AND MANUFACTURED ITEMS WHERE APPLICABLE.
- THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- THE CONTRACTOR HEREIN AGREES TO REPAIR OR REPLACE ANY OR ALL WORK, TOGETHER WITH ANY OTHER ADJACENT WORK WHICH MAY BE DISPLACED IN CONNECTION WITH SUCH REPLACEMENT, THAT MAY PROVE TO BE DEFECTIVE IN WORKMANSHIP OR MATERIALS WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, ORDINARY WEAR AND UNUSUAL ABUSE OR NEGLECT EXCEPTED.
- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, LANDSCAPING, MATERIALS, ETC., DURING CONSTRUCTION. CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES DISRUPTED OR DAMAGED DURING CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES.
- THE CONTRACTOR SHALL ON A DAILY BASIS KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, SUBCONTRACTORS, OR WORK, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT, AND SURPLUS MATERIALS FROM IN AND ABOUT THE BUILDING AND LEAVE THE PREMISES "BROOM CLEAN".
- ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS BY THE CONTRACTOR OR OWNER WITHOUT THE ARCHITECT'S APPROVAL IN WRITING RELEASES THE ARCHITECT OF RESPONSIBILITY AND LIABILITY IN CONNECTION WITH ALL WORK SO INVOLVED.
- CLARIFICATIONS ON AND/OR INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL CHARGES WILL NOT BE GRANTED BASED ON CLAIMS OF INCOMPLETE, INACCURATE, OR INCONSISTENT DRAWINGS AND SPECIFICATIONS.
- THE ARCHITECT SHALL REVIEW OR TAKE OTHER APPROPRIATE ACTION UPON CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, BUT SHALL DO SO ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS. REVIEW OF SUCH SUBMITTALS IS NOT CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER DETAILS SUCH AS DIMENSIONS AND QUANTITIES OR FOR SUBSTANTIATING INSTRUCTIONS FOR INSTALLATION OR PERFORMANCE OF EQUIPMENT OF SYSTEMS, ALL OF WHICH REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT'S REVIEW SHALL NOT CONSTITUTE ACCEPTANCE OF SAFETY PRECAUTIONS OR, UNLESS OTHERWISE SPECIFICALLY STATED BY THE ARCHITECT, OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES.
- A PUBLIC WORKS ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION OR STAGING WITHIN THE PUBLIC RIGHT-OF-WAY, ON PUBLIC PROPERTY, OR WITHIN PUBLIC EASEMENT AREAS.

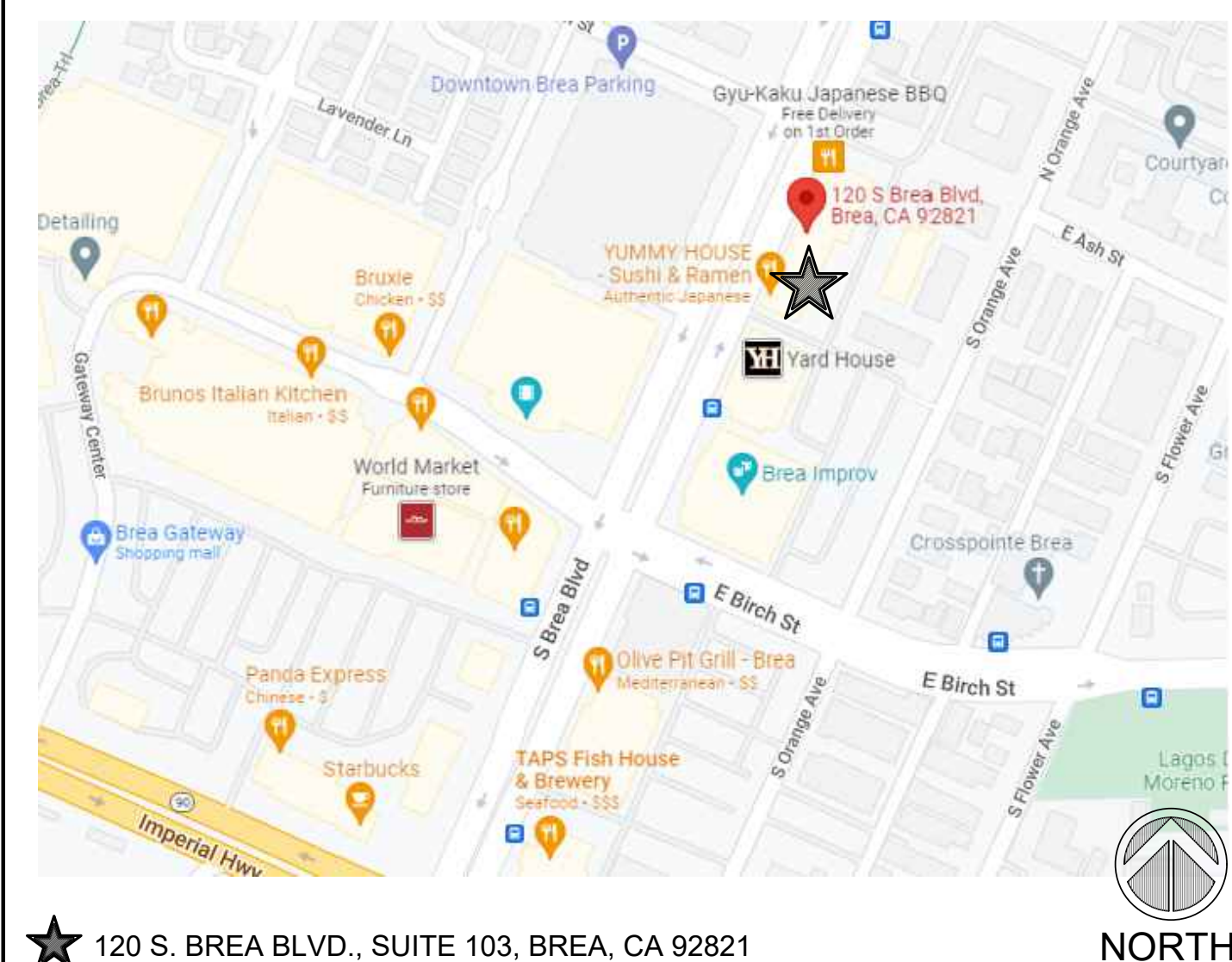
## SYMBOLS



## ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	F.G.	FINISH GRADE	REQ.	REQUIRED
A.F.F.	ABOVE FINISHED FLOOR	F.H.C.	FIRE HOSE CABINET	S.F.	SQUARE FEET
AC.T.	ACOUSTICAL TILE	FIN.	FINISH, FINISHED	SHT	SHEET
ADMIN.	ADMINISTRATION	FLR	FLOOR	SIM.	SIMILAR
BLD'G	BUILDING	FTG	FOOTING	S.S., ST.S.	STAINLESS STEEL
B.N.	BULL NOSE	GA.	GAUGE	S.	STANDARD
B.L.	BUILDING LINE	GALV	GALVANIZED	STRUC.	STRUCTURAL
C.B.	CHALK BOARD	GYP. BD.	GYPSPUM BOARD	T.O.	TOP OF
CEM.	CEMENT	HORIZ.	HORIZONTAL	T.A.	TOP OF ASPHALT PAVING
CEM. PLAS.	CEMENT PLASTER	I.C.	INTERCOM	I.D.	INSIDE DIAMETER
C.F.	CUBIC FEET	INFO.	INFORMATION	T.B.	TACK BOARD
CL'G	CEILING	MAX.	MAXIMUM	T.C.	TOP OF CONC., T.O. CURB
CLSR'N	CLASSROOM	MIN.	MINIMUM	T.W.	TOP OF WALL
CLR	CLEAR	M.B.	MARKER BOARD	TYP.	TYPICAL
CMU	CONCRETE MASONRY UNIT	MET.	METAL	U.N.O.	UNLESS NOTED OTHERWISE
CONC.	CONCRETE	(N)	NEW	V.C.T.	VINYL COMBINATION TILE
C.T.	CERAMIC TILE	N.I.C.	NOT IN CONTRACT	VERT.	VERTICAL
DET.	DETAIL	NO.	NUMBER	VEST.	VESTIBULE
DETS	DETAILS	O.C.	ON CENTER	W/	WITH
DIA	DIAMETER	O.D.	OUTSIDE DIAMETER	W/O	WITHOUT
(E)	EXISTING	OPEN'G	OPENING	W.I.	WROUGHT IRON
EXIST'G	EXISTING	OPP.	OPPOSITE		
EL.	ELEVATION	PL.	PLATE		
ELEV.	ELEVATION, ELEVATOR	PLYWD	PLYWOOD		
E.P.	ELECTRICAL PANEL	PR.	PAIR		
EQ.	EQUAL				

## VICINITY MAP



## SHEET INDEX

G-100	COVER SHEET
G-100A	ENLARGED SITE PLAN
A-000	DEMOLITION PLAN
A-110	FLOOR PLAN
A-150	EXISTING ROOF PLAN
A-160	LINE OF SIGHT AND KEY PLAN
A-200	EXTERIOR ELEVATION
A-210	EXTERIOR ELEVATION
A-220	EXISTING SITE PHOTOS
A-230	EXISTING SITE PHOTOS

WALL TAG	DOOR NUMBER	ROOM NUMBER & NAME	KEYNOTE	EQUIPMENT NUMBER	FINISH TAG
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## LEGAL DESCRIPTION

APN: 296-364-25  
 LEGAL DESCRIPTION: P BK 310 PG 13 PAR 1  
 TRACT: TR 15847  
 LOT: 1  
 MAP REFERENCE: PM 98-210  
 ZONING: MU-1  
 LOT AREA: 16,649 SQ.FT.

## PROJECT SUMMARY

**PROJECT ADDRESS:**  
 120 S. BREA BLVD., SUITE 103  
 BREA, CA 92821

**PROJECT DESCRIPTION:**  
 TENANT IMPROVEMENT & EXTERIOR FACADE REMODEL OF AN EXISTING SPACE FOR A NEW "THE BOILING CRAB" RESTAURANT W/ NEW OUTDOOR PATIO. \*NO SITE DEMOLITION WORK WILL BE TAKING PLACE OUTSIDE OF THE PERIMETER OF THE BUILDING FOOTPRINT\*.

**SCOPE OF WORK:**  
 WORK TO INCLUDE PARTIAL DEMOLITION OF EXTERIOR FACADE & CONSTRUCTION OF NEW EXTERIOR STOREFRONT SYSTEM, AWNING & NEW OUTDOOR PATIO.

**ARCHITECT/MEP:**  
 GWA ARCHITECTURE INC.  
 1000 CORPORATE CENTER DR., SUITE 550  
 MONTEREY PARK, CA 91754  
 PH: (626) 288-6898  
 FAX: (626) 768-7101

**STRUCTURAL:**  
 KWEI CONSULTING ENGINEERS, INC.  
 811 WILSHIRE BLVD., SUITE 1700  
 LOS ANGELES, CA 90017  
 PH: (949) 395-6954  
 EMAIL: PETER@KWEICONSTRUCTINGENG.COM

**TENANT:**  
 THE BOILING CRAB HELNGO 8750, LLC  
 5811 MCFADDEN AVE.  
 HUNTINGTON BEACH, CA 92649  
 ATTN: MARIA STONEHOUSE  
 (646) 716-1880  
 EMAIL: MARIA@THEBOILINGCRAB.COM

**PROPERTY OWNER:**  
 BREA LLC  
 P.O. BOX 844  
 SANTA MONICA, CA 90406  
 ATTN: ANDY WANG  
 (310) 666-8888  
 EMAIL: ANDY@HOSPITALITYRESORTS.COM

**CODE ANALYSIS:**  
 2022 CALIFORNIA BUILDING CODE  
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2022 CALIFORNIA ENERGY CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA ELECTRICAL CODE  
 2022 CALIFORNIA FIRE CODE  
 2022 ENERGY STANDARDS  
 CITY OF BREA MUNICIPAL CODE AND ORDINANCES

**CONSTRUCTION TYPE:** V-B/FULLY SPRINKLERED

**OCCUPANCY GROUP:** A-2

**NUMBER OF STORIES:** 1 STORY

**ZONING:** MU-1

**BUILDING HEIGHT:** 22'-6" & 25'-4"

**TOTAL AREA:**  
 EXISTING INTERIOR SPACE: 6,028 SQ. FT.  
 PROPOSED INTERIOR SPACE: 5,707 SQ. FT.  
 PROPOSED INTERIOR USABLE SPACE: 4,900 SQ. FT.

**OUTDOOR PATIO AREA:** 645 SQ. FT.

**DEFERRED SUBMITTALS/NOTES:**  
 - EXTERIOR SIGNAGE,  
 - FIRE SPRINKLER HEAD MODIFICATION / FIRE ALARM  
 - HOOD FIRE SUPPRESSION SYSTEM, UNDER SEPARATE PERMIT BY THE GENERAL CONTRACTOR.  
 - PUBLIC WORKS ENCROACHMENT PERMIT

**NUMBER OF INDOOR SEATS:** 139 (INCL. 7 ACCESSIBLE)

**NUMBER OF OUTDOOR SEATS:** 46 (INCL. 3 ACCESSIBLE)

**OCCUPANT LOAD:**

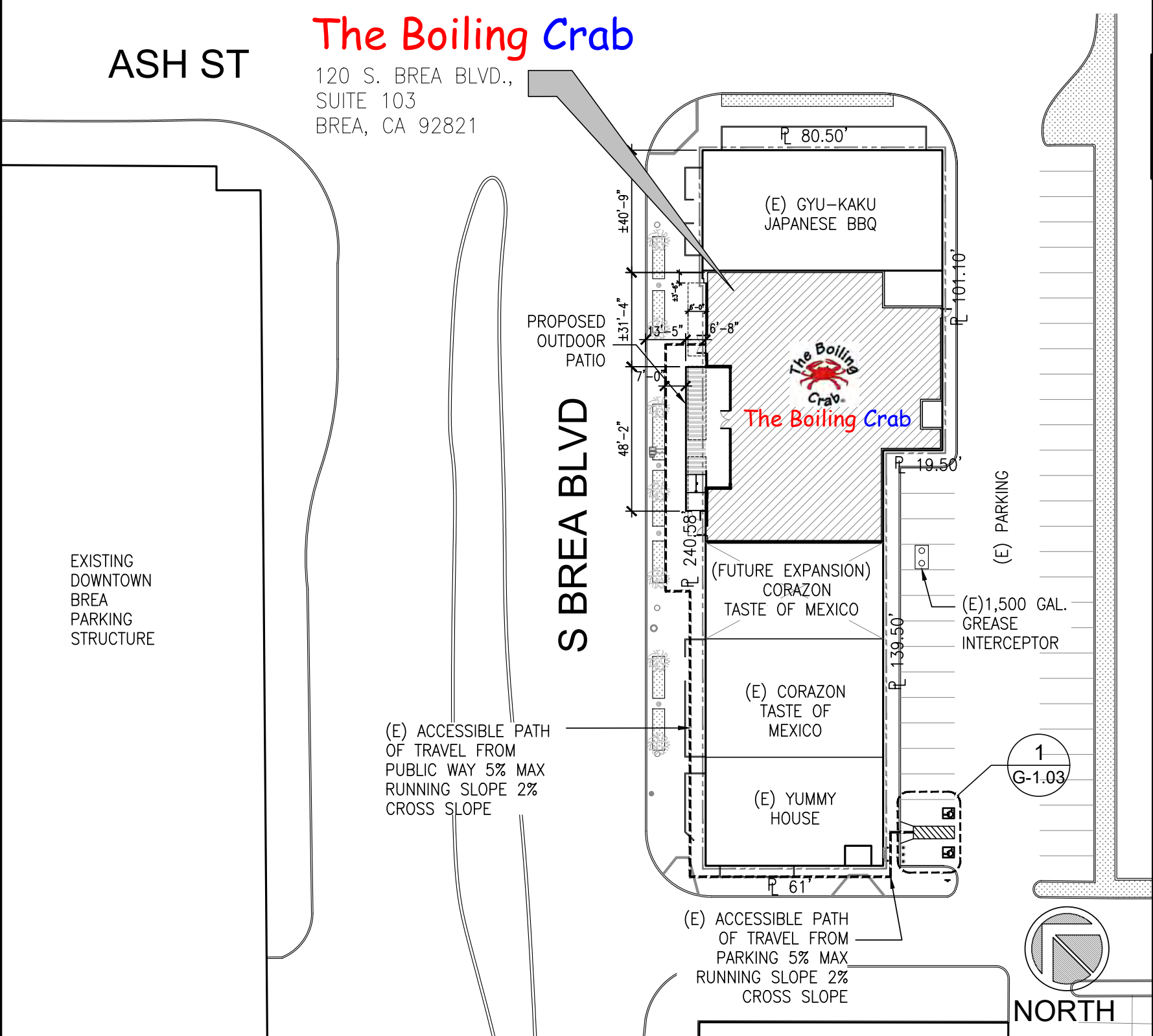
PICK UP/DINING AREA	1,430 SQ.FT. / 15 = 94
DINING AREA (FIXED SEATS)	1,221 LIN.IN. / 24 = 51
SERVICE AREA/BAR	187 SQ.FT. / 100 = 2
PREP/KITCHEN AREA	621 SQ.FT. / 200 = 4
STORAGE AREA	268 SQ.FT. / 300 = 1
OFFICE AREA	75 SQ.FT. / 100 = 1

**TOTAL OCCUPANT LOAD:** 153 OCC.

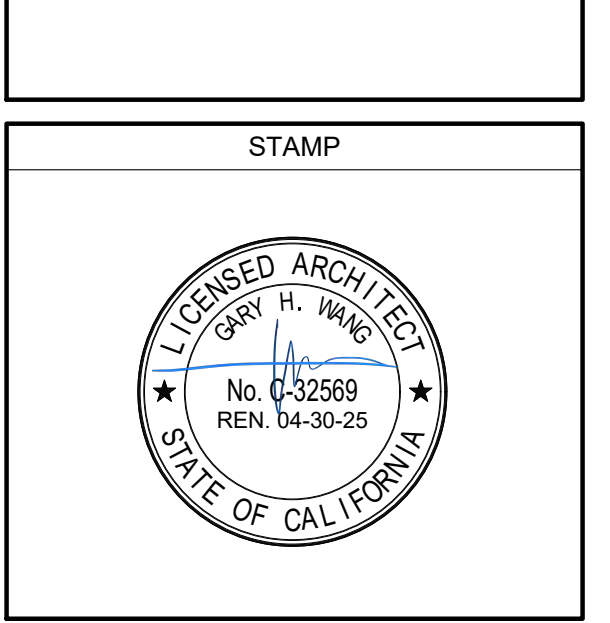
**NO. OF EXITS REQUIRED (>50 OCC.):** 2  
**NO. OF EXITS PROVIDED:** 3

**PARKING DEMAND:**  
 5,707 SQ.FT. / 1 PER 75 SQ.FT. = 76 REQUIRED PARKING  
 645 SQ.FT. / 1 PER 75 SQ.FT. = 9 REQUIRED PARKING

## SITE PLAN (FOR REFERENCE ONLY)



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**PROJECT NAME/ADDRESS:**  
**The Boiling Crab**  
 @ Brea  
 120 S BREA BLVD.,  
 SUITE 103  
 BREA, CA 92821

**REVISIONS:**

1	-	-
2	-	-
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**ISSUE DATE:**

1ST	-
2ND	-
3RD	-

**JOB NUMBER:**  
 ARCH PROJECT #: 23-

<b>DRAWN BY:</b> IU	<b>CHECKED BY:</b> ADR
------------------------	---------------------------

**SHEET CONTENT:**  
 COVER SHEET

**SHEET NO:**  
**G-100**



**SITE PLAN NOTES**

- 1 PROPOSED OUTDOOR PATIO
- 2 EXISTING ACCESSIBLE PARKING STALLS
- 3 MAIN ENTRANCE; REFER TO INTERIOR FLOOR PLAN
- 4 EXISTING VERT-I-PACK TRASH COMPACTOR TO REMAIN
- 5 EXISTING 1,500 GAL. GREASE INTERCEPTOR TO REMAIN
- 6 EXISTING SIDEWALK AND CURB TO REMAIN
- 7 EXISTING GAS METERS TO REMAIN
- 8 EXISTING WATER METERS TO REMAIN
- 9 EXISTING LANDSCAPING TO REMAIN; NOT A PART
- 10 EXISTING OUTDOOR TRASH RECEPTACLE
- 11 EXISTING LIGHT POLE
- 12 EXISTING FIRE HYDRANT
- 13 EXISTING TREE TO REMAIN
- 14 EXISTING BOLLARDS TO REMAIN
- 15 EXISTING OUTDOOR PATIO, NOT A PART
- 16 PROPOSED NEW AWNING

**BEST MANAGEMENT PRACTICES (BMP)**



**Storm Water Pollution Control Requirements for Construction Activities  
Minimum Water Quality Protection Requirements for All Development Construction Projects/Certification Statement**

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

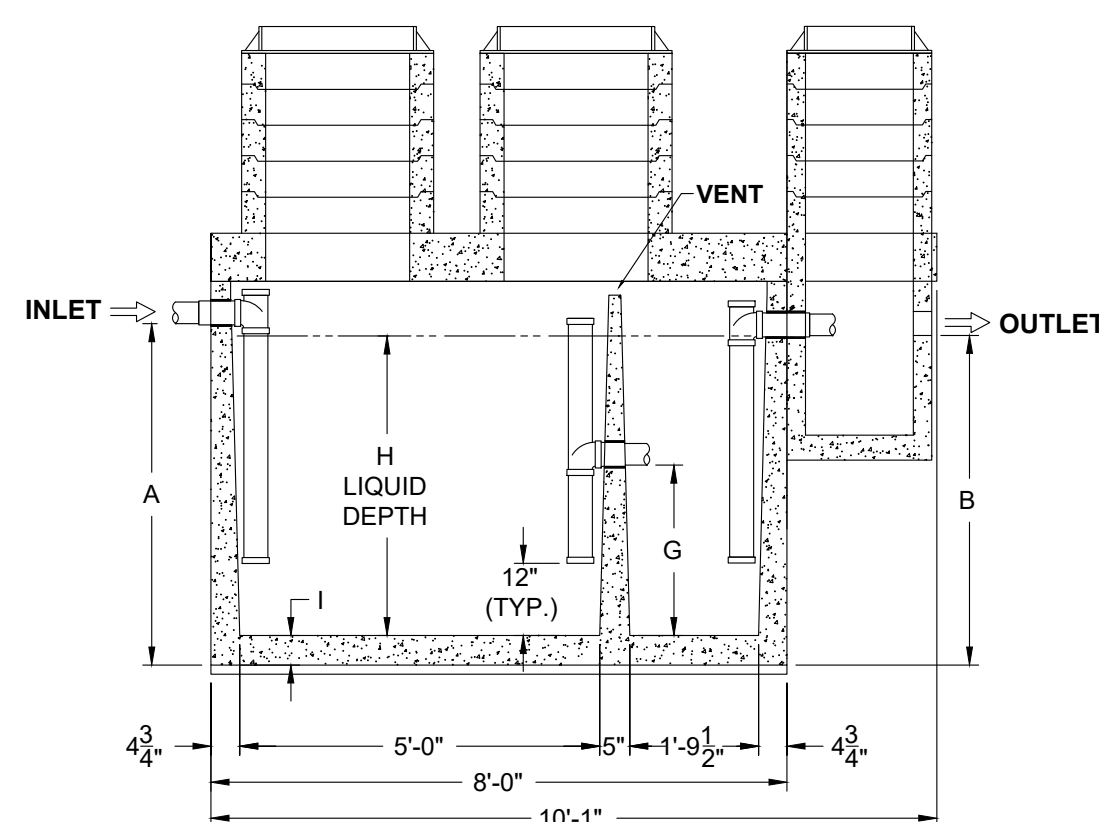
- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other: \_\_\_\_\_

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name Maria Stonehouse  
(Owner or authorized agent of the owner)  
Signature [Signature] Date 03/01/23  
(Owner or authorized agent of the owner)

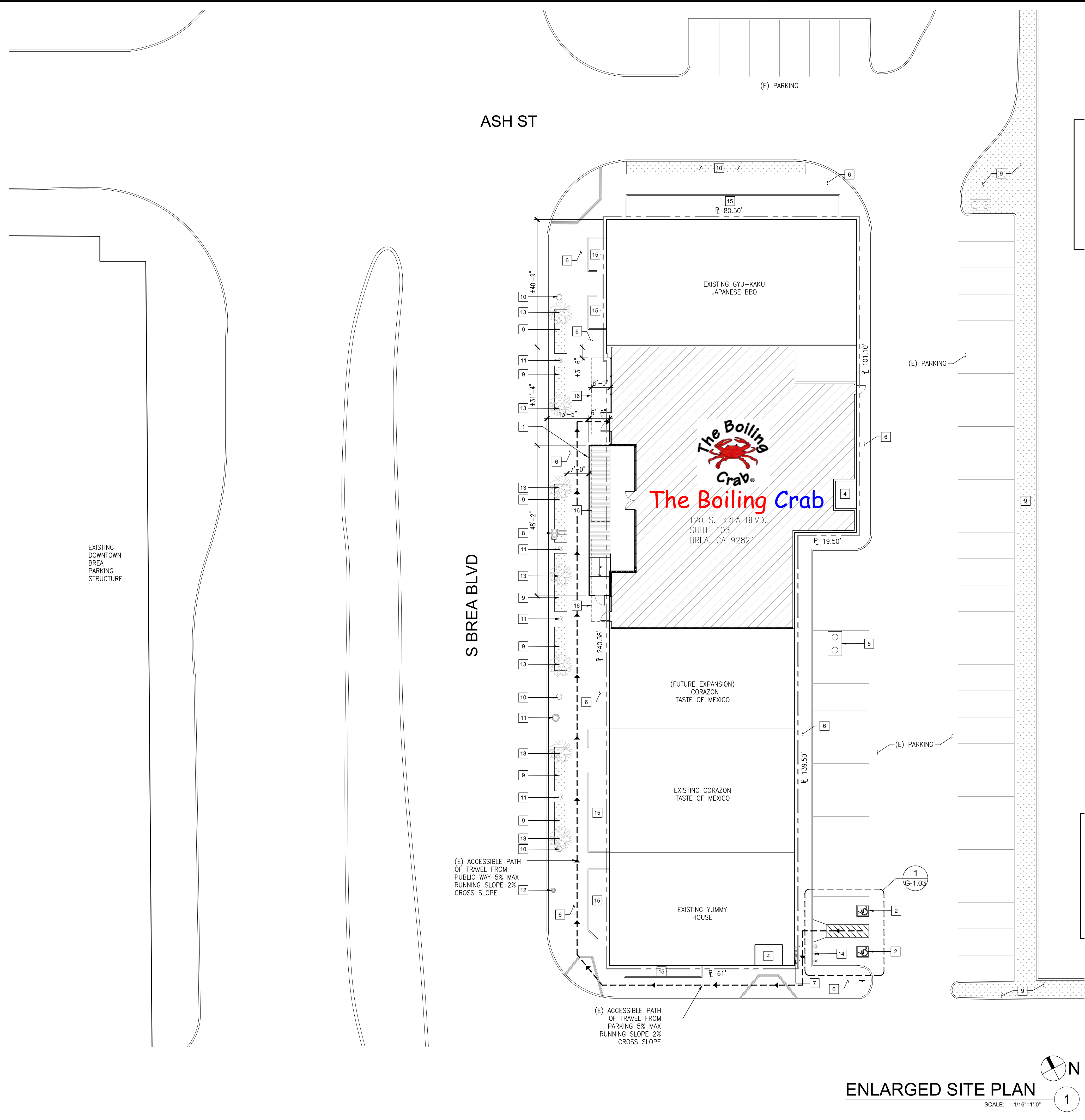
\*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003. [www.cabmphandbooks.com](http://www.cabmphandbooks.com)

Attachment A BMP Notes.doc



**EXISTING 1,500 GAL. GREASE INTERCEPTOR SECTION**  
SCALE: N.T.S.

2



**ENLARGED SITE PLAN**  
SCALE: 1/16"=1'-0"

1

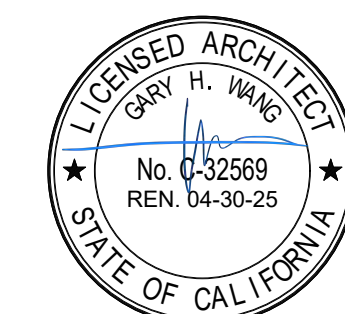


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ARCHITECT



STAMP



PROJECT NAME/ADDRESS:

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@ Brea  
120 S BREA BLVD.,  
SUITE 103  
BREA, CA 92821

REVISIONS:

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ISSUE DATE:

1ST	-
2ND	-
3RD	-

JOB NUMBER

ARCH PROJECT # 23-

DRAWN BY

CHECKED BY

IU

ADR

SHEET CONTENT

ENLARGED SITE PLAN

SHEET NO

**G-100A**

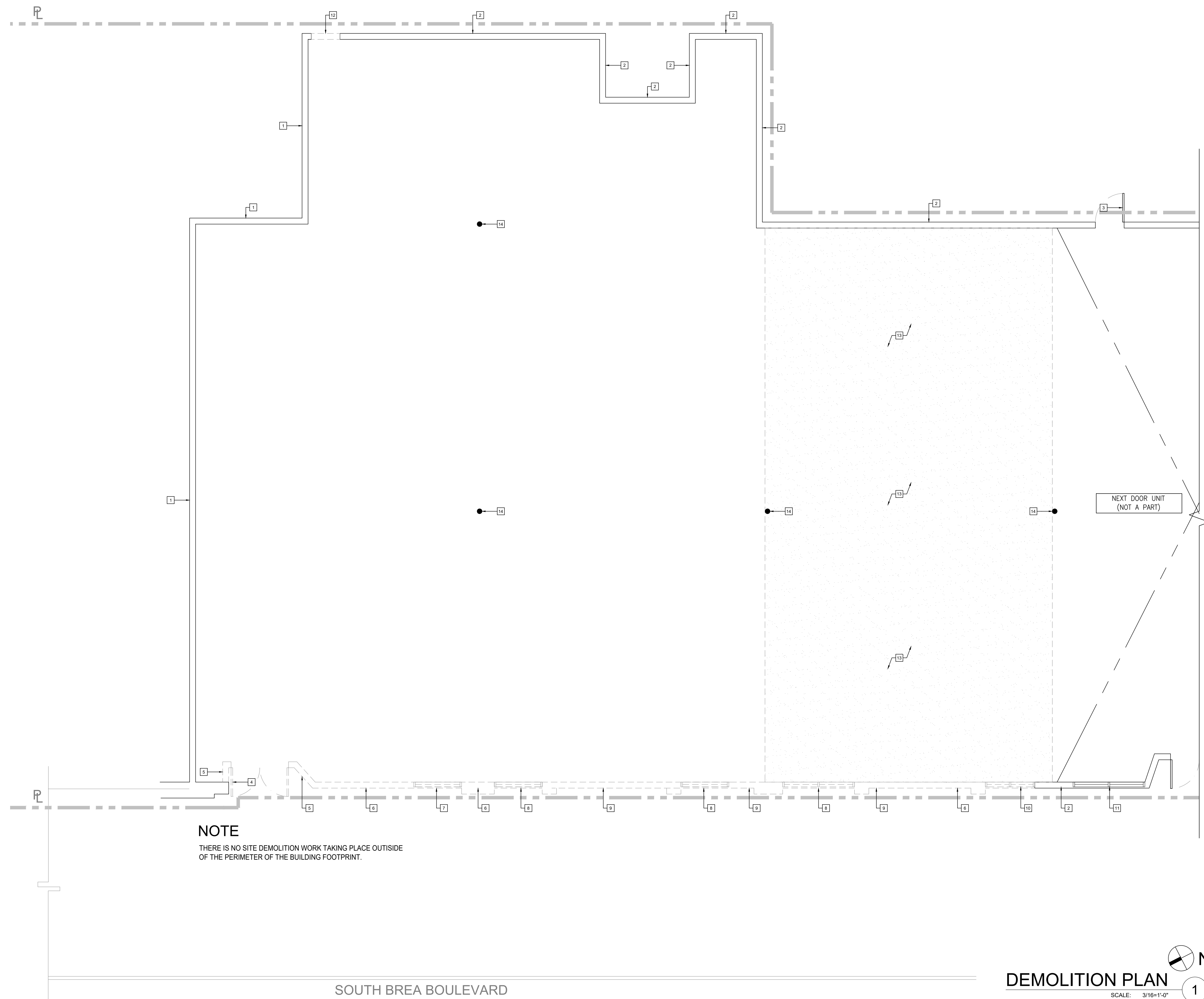


KEYNOTES	
NO.	DESCRIPTION
1	EXISTING DEMISING WALL TO REMAIN.
2	EXISTING WALL TO REMAIN.
3	EXISTING DOOR TO REMAIN. NOT A PART
4	EXISTING STOREFRONT DOOR TO BE REMOVED.
5	PART OF EXISTING EXTERIOR WALL TO BE REMOVED
6	PART OF EXISTING EXTERIOR WALL TO BE REMOVED & REPLACED W/ NEW STOREFRONT GLAZING
7	EXISTING STOREFRONT GLAZING TO BE REMOVED & REPLACED WITH NEW STOREFRONT DOORS
8	EXISTING STOREFRONT GLAZING TO BE REMOVED TO ALLOW FOR A NEW OUTDOOR PATIO DINING AREA.
9	PART OF EXISTING EXTERIOR WALL TO BE REMOVED TO ALLOW FOR A NEW OUTDOOR PATIO DINING AREA.
10	EXISTING STOREFRONT GLAZING TO BE REMOVED & REPLACED WITH NEW STOREFRONT DOOR
11	EXISTING STOREFRONT SYSTEM TO BE REMAIN. NOT A PART
12	PART OF EXISTING EXTERIOR WALL TO BE REMOVED & REPLACED W/ NEW EXTERIOR DOOR.
13	G.C. TO POUR CONCRETE SLAB TO ALIGN WITH EXISTING
14	EXISTING POST/STRUCTURAL COLUMN TO REMAIN.

GENERAL NOTES	
1.	CONTRACTOR TO REMOVE ALL ABANDONED CONDUIT THROUGHOUT THE SPACE
2.	CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE PREMISES. HAULING AND DISPOSAL SHALL BE IN ACCORDANCE TO LANDLORD, CITY/COUNTY REGULATIONS.
3.	CONTRACTOR TO VISIT SITE PRIOR TO BID TO VERIFY EXISTING CONDITION.
4.	CONTRACTOR MUST IMMEDIATELY NOTIFY THE ARCHITECT OF ANY PLAN DISCREPANCIES PRIOR TO BIDDING/CONSTRUCTION OF THE PROJECT.

LEGEND	
	EXISTING WALL TO REMAIN.
	EXISTING WALL TO BE REMOVED.

PUBLIC WORKS NOTES:	
1.	A PUBLIC WORKS ENCROACHMENT PERMIT SHALL BE ATTAINED PRIOR TO ANY CONSTRUCTION OR STAGING WITHIN THE PUBLIC RIGHT-OF-WAY, ON PUBLIC PROPERTY, OR WITHIN PUBLIC EASEMENT AREAS



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ARCHITECT

**GWA ARCHITECTURE**  
 1000 Corporate Center Drive  
 Suite 550  
 Monterey Park, CA 91754  
 Tel: (626) 258-6998  
 Member of The American Institute of Architects

STAMP

PROJECT NAME/ADDRESS:

**The Boiling Crab**  
 @ Brea  
 120 S BREA BLVD.,  
 SUITE 103  
 BREA, CA 92821

REVISIONS:	
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JOB NUMBER

ARCH PROJECT # 23-

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IU	ADR

SHEET CONTENT

DEMOLITION PLAN

SHEET NO

**A-000**

DEMOLITION PLAN

SCALE: 3/16"=1'-0"

1



**WALL LEGEND**

- EXISTING WALL
- ▨ WALK-IN COOLER/FREEZER WALL
- ▧ INTERIOR WALL
- ▩ LOW WALL
- ▬ EXTERIOR WALL

**PUBLIC WORKS NOTES:**

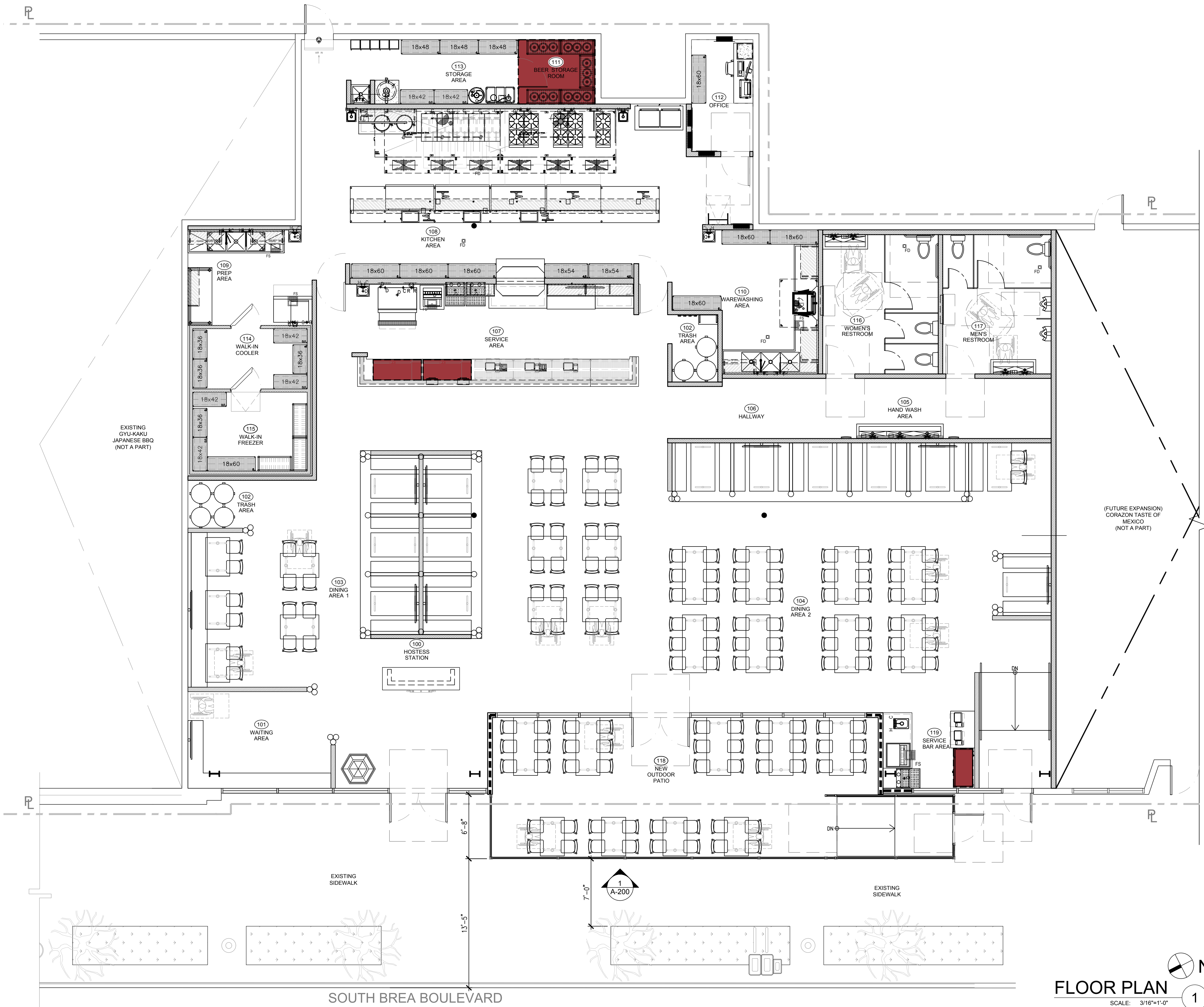
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**PROJECTED ITEMS TO THE PUBLIC R.O.W. :**

- PATIO FENCING, PLATFORM, DOOR, AND RAMP
- PATIO OVERHEAD AWNING

**LEGEND**

- ALCOHOL STORAGE AREA



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STAMP

PROJECT NAME/ADDRESS:

**The Boiling Crab**  
@ Brea

120 S BREA BLVD.,  
SUITE 103  
BREA, CA 92821

REVISIONS:

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ISSUE DATE:

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2ND	-
3RD	-

JOB NUMBER

ARCH PROJECT # 23-

DRAWN BY: IU

CHECKED BY: ADR

SHEET CONTENT

FLOOR PLAN

SHEET NO

**A-110**

**FLOOR PLAN**

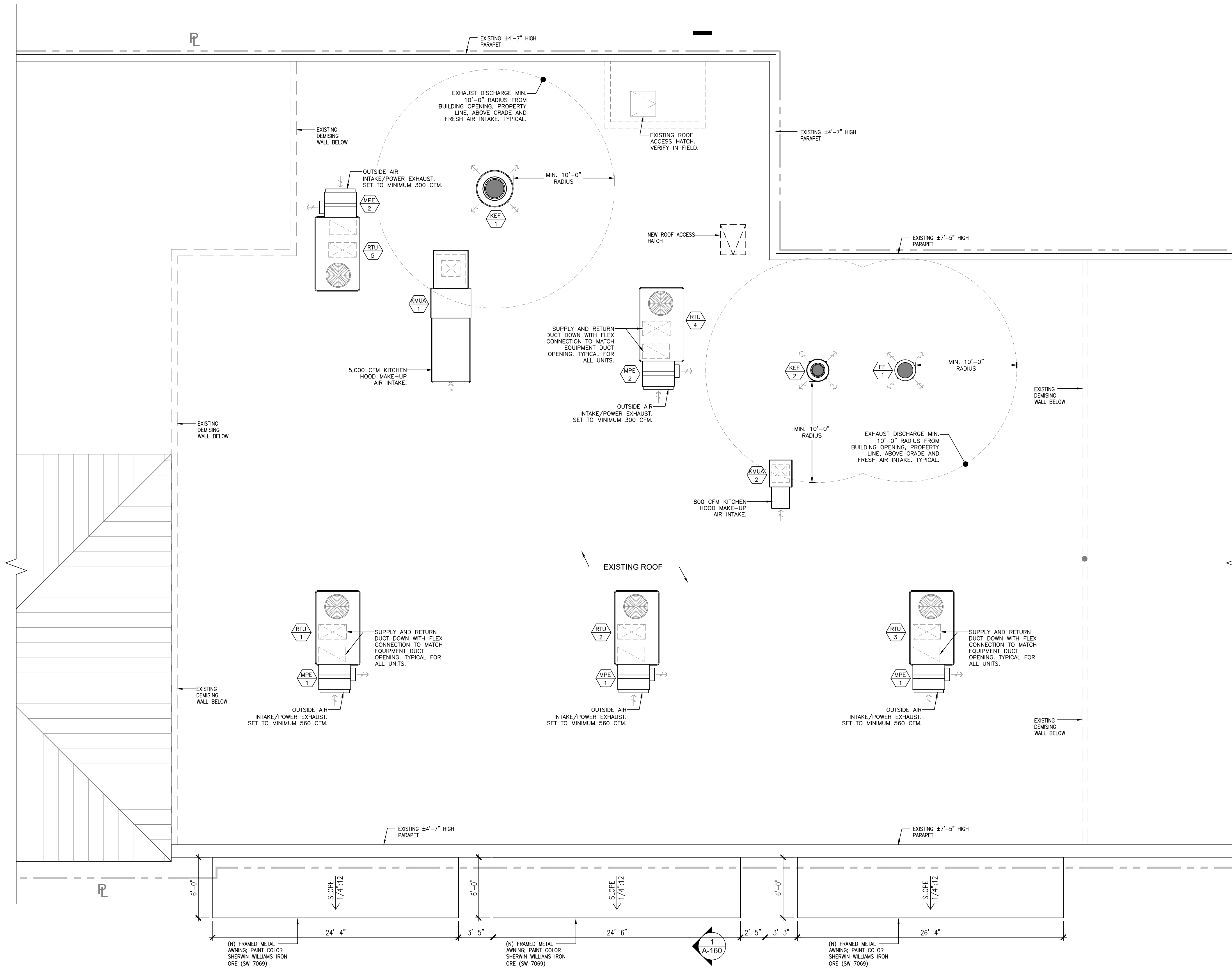
SCALE: 3/16"=1'-0"

1



**GENERAL NOTES**

1. OUTSIDE AIR INTAKES SHALL BE LOCATED AT LEAST 10' - 0" FROM EXHAUST OUTLETS OF VENTILATING SYSTEM, COMBUSTION EQUIPMENT STACKS, PLUMBING VENTS, AND 1' - 6" ABOVE THE ROOF LEVEL.
2. ALL ROOF MOUNTED EQUIPMENT SHALL BE LABELED AS TO THE SPACE IT SERVES.
3. PROVIDE FLAT ROOF CURB.
4. MECHANICAL, PLUMBING AND ELECTRICAL SUBCONTRACTORS ARE REQUIRED TO COORDINATE WITH EACH OTHER AND TO REFER TO ALL SHEETS IN THE SET FOR CONSTRUCTION CONDITIONS, NOT JUST THE DRAWINGS PERTAINING TO THEIR DISCIPLINE.
5. DRAWINGS ARE ONLY AN APPROXIMATION OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD. MAKE NECESSARY ADJUSTMENT TO THE EXTENT OF NEW WORK AS REQUIRED.
6. PROVIDE AND INSTALL ALL EQUIPMENT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDED CLEARANCES. MAINTAIN CLEARANCES TO ELECTRICAL AND SERVICE PANELS FOR MAINTENANCE.
7. CONTRACTOR TO VERIFY ALL EQUIPMENT IN THE FIELD. MAKE NECESSARY ADJUSTMENT TO AVOID CONFLICT WITH OTHER EXISTING EQUIPMENT AND ENSURE CODE COMPLIANCE.
8. GC TO COORDINATE ALL DUCT ROOF PENETRATION, ROUTING AND SIZES WITH THE ARCHITECT AND LANDLORD. NOTIFY ARCHITECT FOR ANY DISCREPANCIES.
9. REFER PLUMBING PLANS FOR CODE REQUIRED CONDENSATE DRAIN PIPING. COORDINATE WITH PLUMBING CONTRACTOR FOR INSTALLATION OF CONDENSATE LINES.
10. COORDINATE AND REFER TO STRUCTURAL PLANS AND CALCULATIONS FOR THE SUPPORTS, OPERATING WEIGHT AND LOCATION OF ALL ROOF MOUNTED EQUIPMENT.



THESE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF GWA ARCHITECTURE, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF GWA ARCHITECTURE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAIL MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.

ARCHITECT

**GWA ARCHITECTURE**

1000 Corporate Center Drive  
Suite 150  
Monterey Park, CA 91754  
Tel: (626) 258-6998  
Member of The American Institute of Architects

STAMP

LICENSED ARCHITECT  
GARY H. WANN  
No. C-32569  
REN. 04-30-25  
STATE OF CALIFORNIA

PROJECT NAME/ADDRESS:

**The Boiling Crab**  
@ Brea  
120 S BREA BLVD.,  
SUITE 103  
BREA, CA 92821

REVISIONS:

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JOB NUMBER

ARCH PROJECT # 23-

DRAWN BY	CHECKED BY
IU	ADR

SHEET CONTENT

ROOF PLAN

SHEET NO

**A-150**

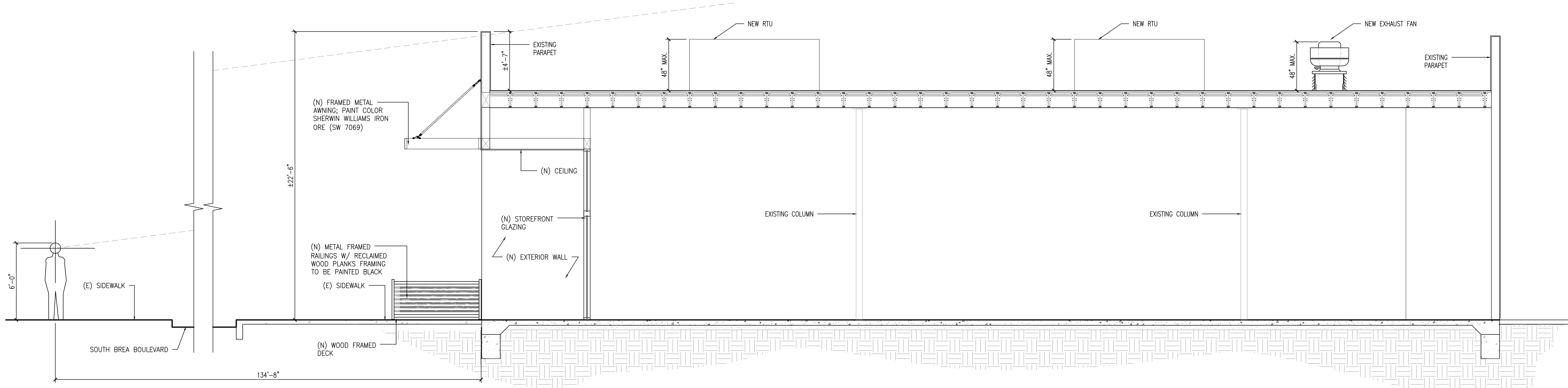
**ROOF PLAN**

SCALE: 3/16"=1'-0"

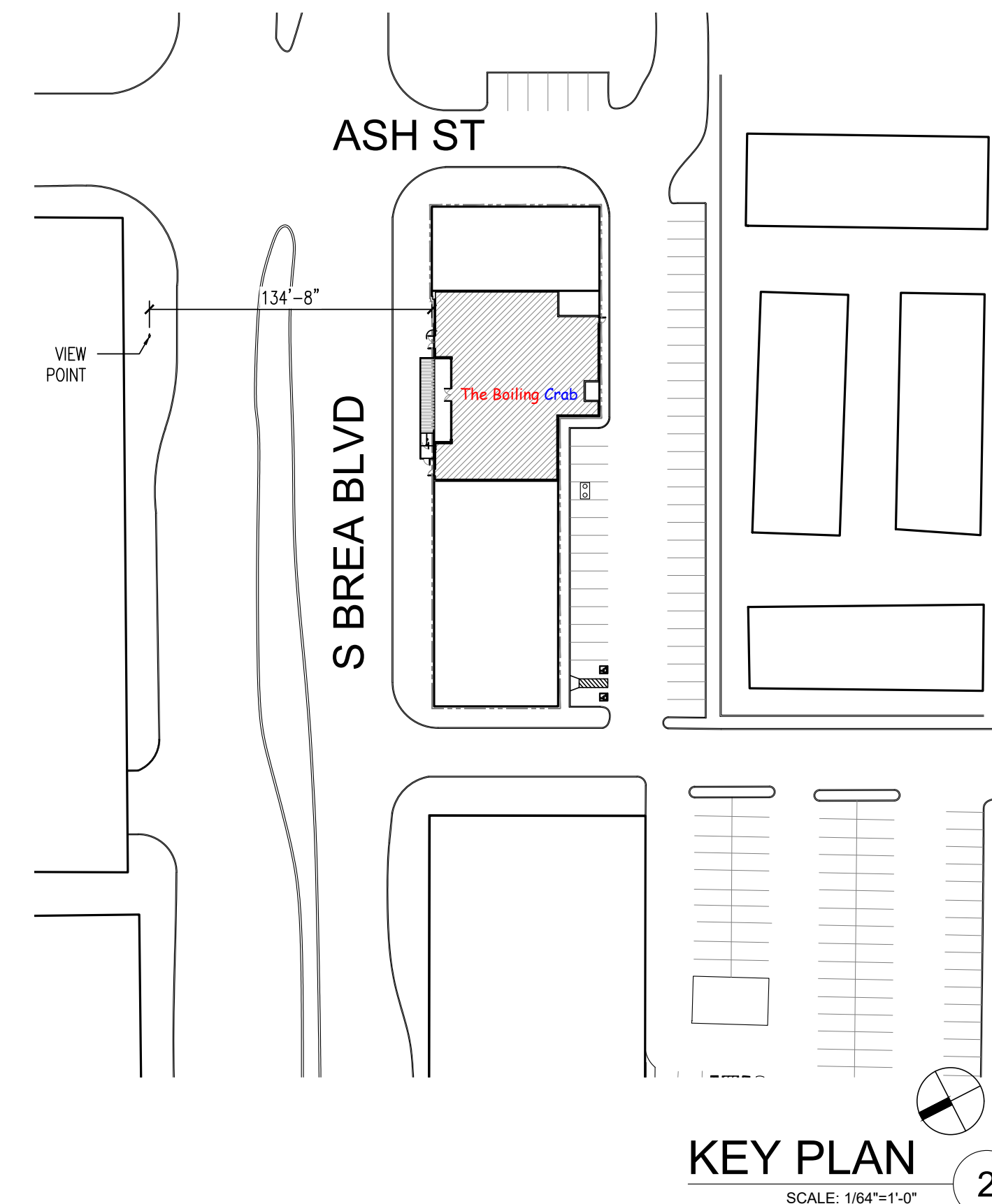
N

1

**NOTE**  
 ROOFTOP MECHANICAL EQUIPMENT  
 NOT TO BE VISIBLE BY PUBLIC VIEW



**LINE OF SIGHT**  
 SCALE: 1/4"=1'-0" 1

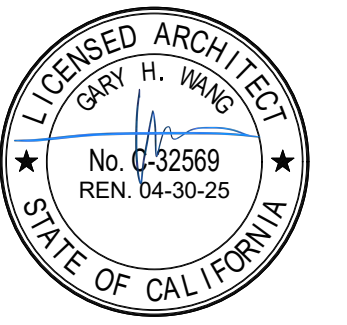


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ARCHITECT



STAMP



PROJECT NAME/ADDRESS:

**The Boiling Crab**  
 @ Brea  
 120 S BREA BLVD.,  
 SUITE 103  
 BREA, CA 92821

REVISIONS:

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ISSUE DATE:

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JOB NUMBER

ARCH PROJECT # 23-

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IU	ADR

SHEET CONTENT

LINE OF SIGHT

SHEET NO

**A-160**



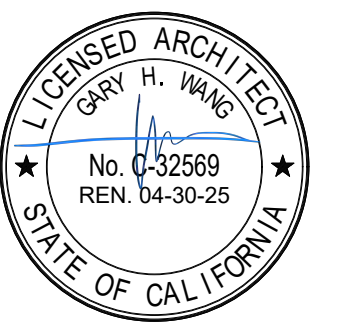


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ARCHITECT



STAMP



EXISTING FRONT ELEVATION - EAST 1

SCALE: 1/4"=1'-0"



FRAMED METAL AWNING  
COLOR: SHERWIN WILLIAMS  
IRON ORE SW7069

CHANNEL LETTERS SIGNAGE  
BY SIGN VENDOR

WALL PAINT COLOR  
SHERWIN WILLIAMS  
ALABASTER WHITE  
SW 7008

DAYTON PINE RECLAIMED WOOD SIDING  
SD1076  
BY E & K VINTAGE WOOD OR EQUAL

TURNBUCKLE SUPPORT  
FOR THE METAL FRAMED  
AWNING

WALL PAINT COLOR  
SHERWIN WILLIAMS  
ALABASTER WHITE SW  
7008

NEW STOREFRONT SYSTEM  
BY LANDLORD

METAL FRAMED RAILING W/  
RECLAIMED WOOD DAYTON  
PINE SD1076 BY E&K VINTAGE WOOD.  
FRAMING TO BE PAINTED BLACK

WOOD FRAMED PATIO DECK  
ALONG THE SIDEWALK  
TO LEVEL WITH THE EXIST.  
CONC FLOOR INSIDE THE UNIT

STOREFRONT FRAME  
TO BE PAINTED BLACK

PROPOSED FRONT ELEVATION - EAST 2

SCALE: 1/4"=1'-0"

PROJECT NAME/ADDRESS:

**The Boiling Crab**

@ Brea

120 S BREA BLVD.,  
SUITE 103  
BREA, CA 92821

REVISIONS:

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JOB NUMBER

ARCH PROJECT # 23-

DRAWN BY

CHECKED BY

IU ADR

SHEET CONTENT

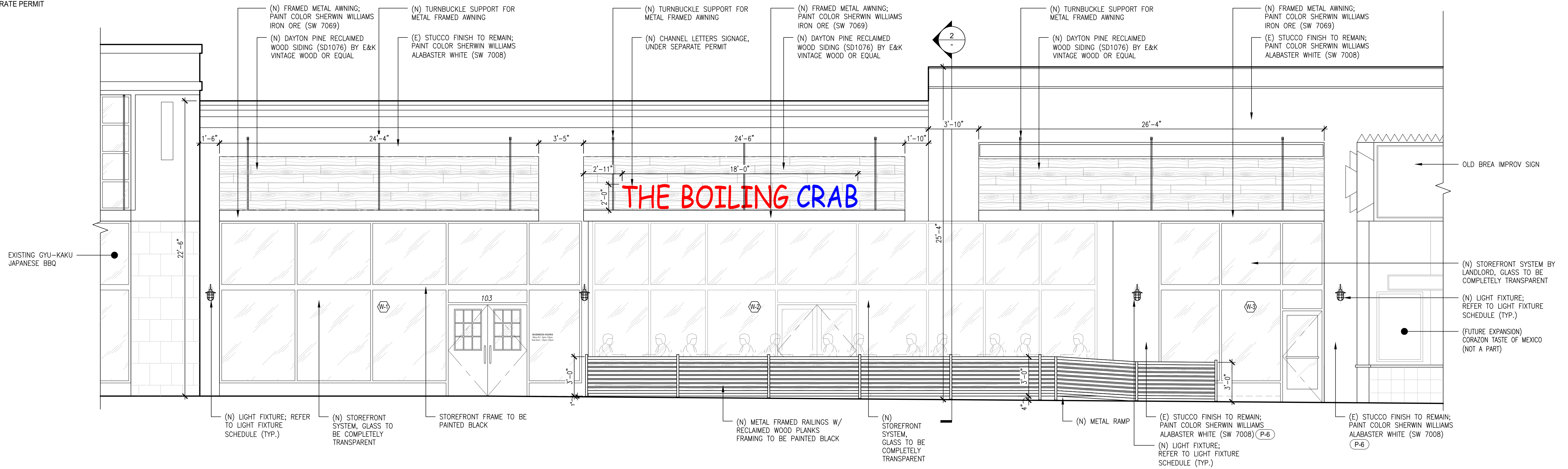
EXTERIOR ELEVATIONS

SHEET NO

**A-200**



**NOTE**  
ALL SIGNAGE TO BE UNDER SEPARATE PERMIT

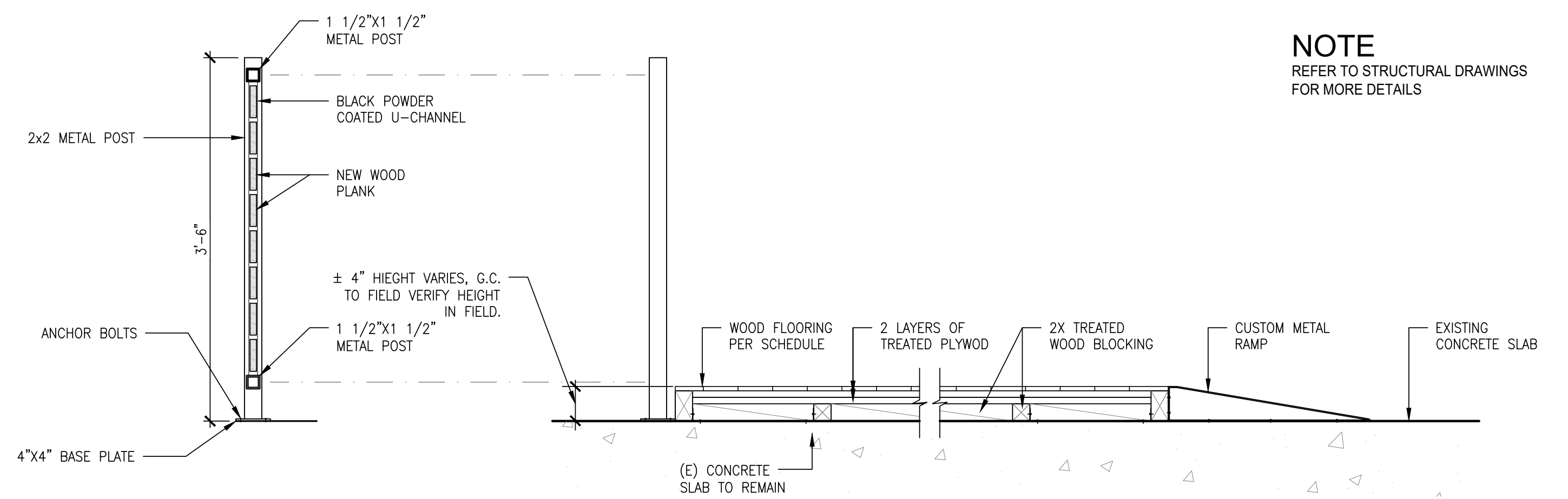
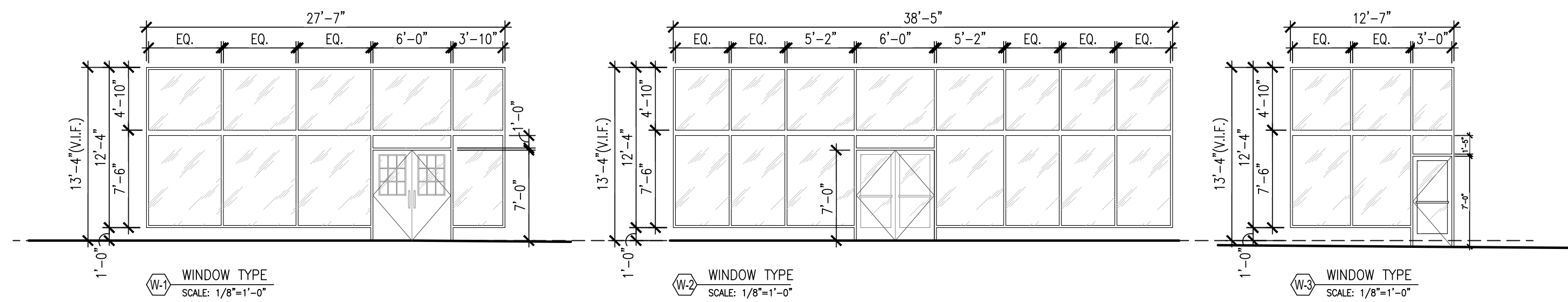


**PROPOSED FRONT ELEVATION - EAST** 1  
SCALE: 1/4"=1'-0"

**WINDOW SCHEDULE**

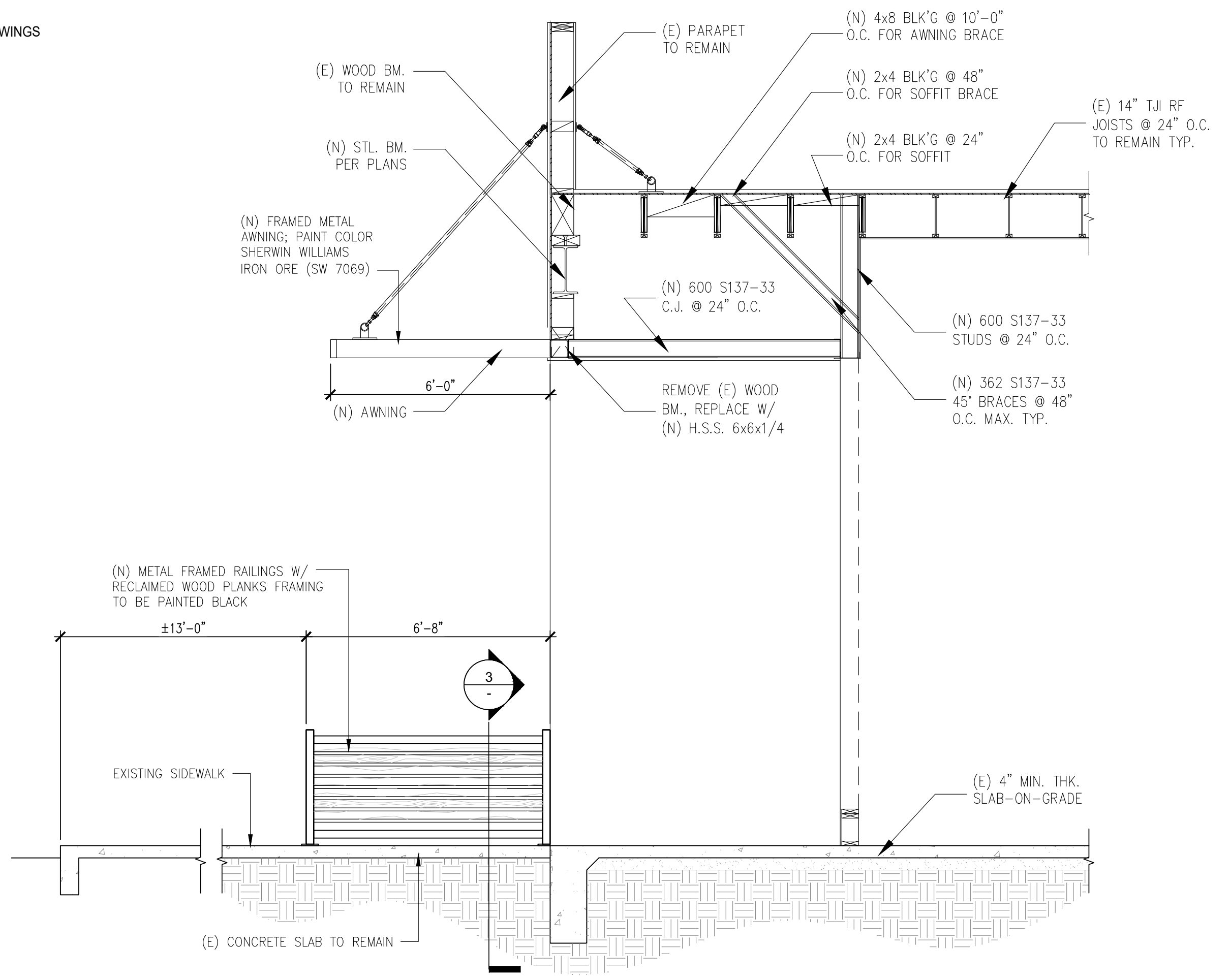
NO.	DESCRIPTION	SIZE (W X H)	SIDELITES (W X H)	TRANSOM (W X H)	FRAME	FACE/EDGE	REMARKS
(W-1)	NEW STOREFRONT WINDOW	27'-7" X 13'-4"	VARIABLES X 12'-4"	6'-0" X 1'-0"	ALUMINUM	GLASS	FIXED WINDOW W/ COMPLETE TRANSPARENT GLASS
(W-2)	NEW STOREFRONT WINDOW	38'-5" X 13'-4"	VARIABLES X 12'-4"	6'-0" X 1'-0"	ALUMINUM	GLASS	FIXED WINDOW W/ COMPLETE TRANSPARENT GLASS
(W-3)	NEW STOREFRONT WINDOW	12'-7" X 13'-4"	VARIABLES X 12'-4"	3'-0" X 1'-5"	ALUMINUM	GLASS	FIXED WINDOW W/ COMPLETE TRANSPARENT GLASS

**WINDOW TYPES**



**WOOD FRAMED DECK W/ RAILING DETAIL** 3  
SCALE: 1"=1'-0"

**NOTE**  
REFER TO STRUCTURAL DRAWINGS FOR MORE DETAILS



**STOREFRONT SECTION** 2  
SCALE: 3/8"=1'-0"



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ARCHITECT

**GWA ARCHITECTURE**  
1000 Corporate Center Drive  
Suite 600  
Monterey Park, CA 91754  
Tel: (626) 288-6698  
Member of The American Institute of Architects

STAMP

PROJECT NAME/ADDRESS:

**The Boiling Crab**  
@ Brea  
120 S BREA BLVD.,  
SUITE 103  
BREA, CA 92821

REVISIONS:

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ISSUE DATE:

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3RD	-

JOB NUMBER

ARCH PROJECT #: 23-

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IU	ADR

SHEET CONTENT

EXTERIOR ELEVATIONS

SHEET NO

**A-210**





EXISTING EXTERIOR

B



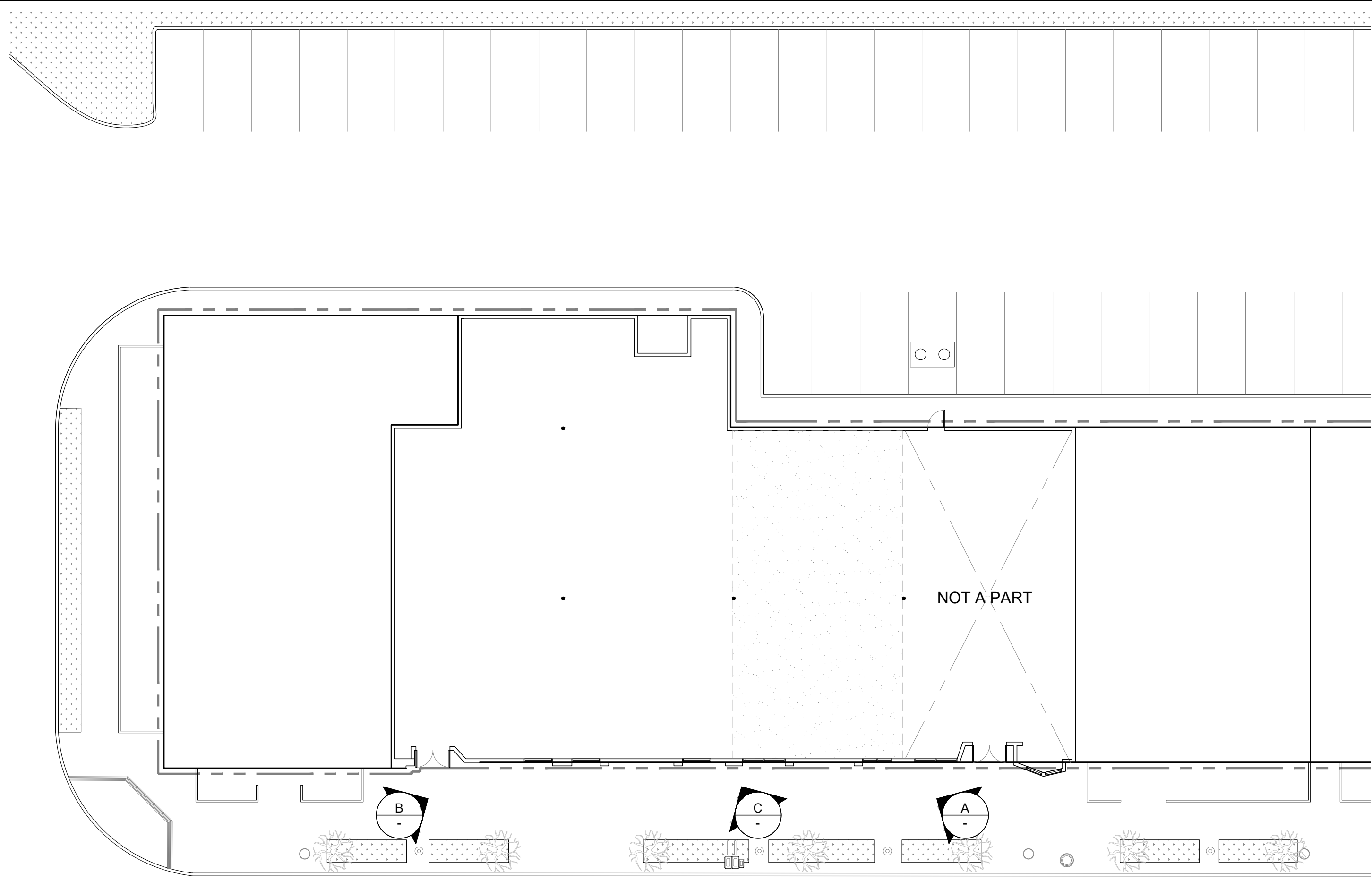
EXISTING EXTERIOR

A



EXISTING EXTERIOR

C



KEY PLAN

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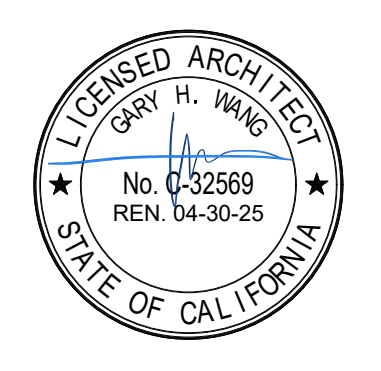


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PROJECT NAME/ADDRESS:

**The Boiling Crab**  
 @ Brea  
 120 S BREA BLVD.,  
 SUITE 103  
 BREA, CA 92821

REVISIONS:

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JOB NUMBER

ARCH PROJECT # 23-

DRAWN BY: IU  
 CHECKED BY: ADR

SHEET CONTENT

EXISTING SITE PHOTOS

SHEET NO

**A-220**

SCALE: 1/16"=1'-0"





EXISTING INTERIOR

B



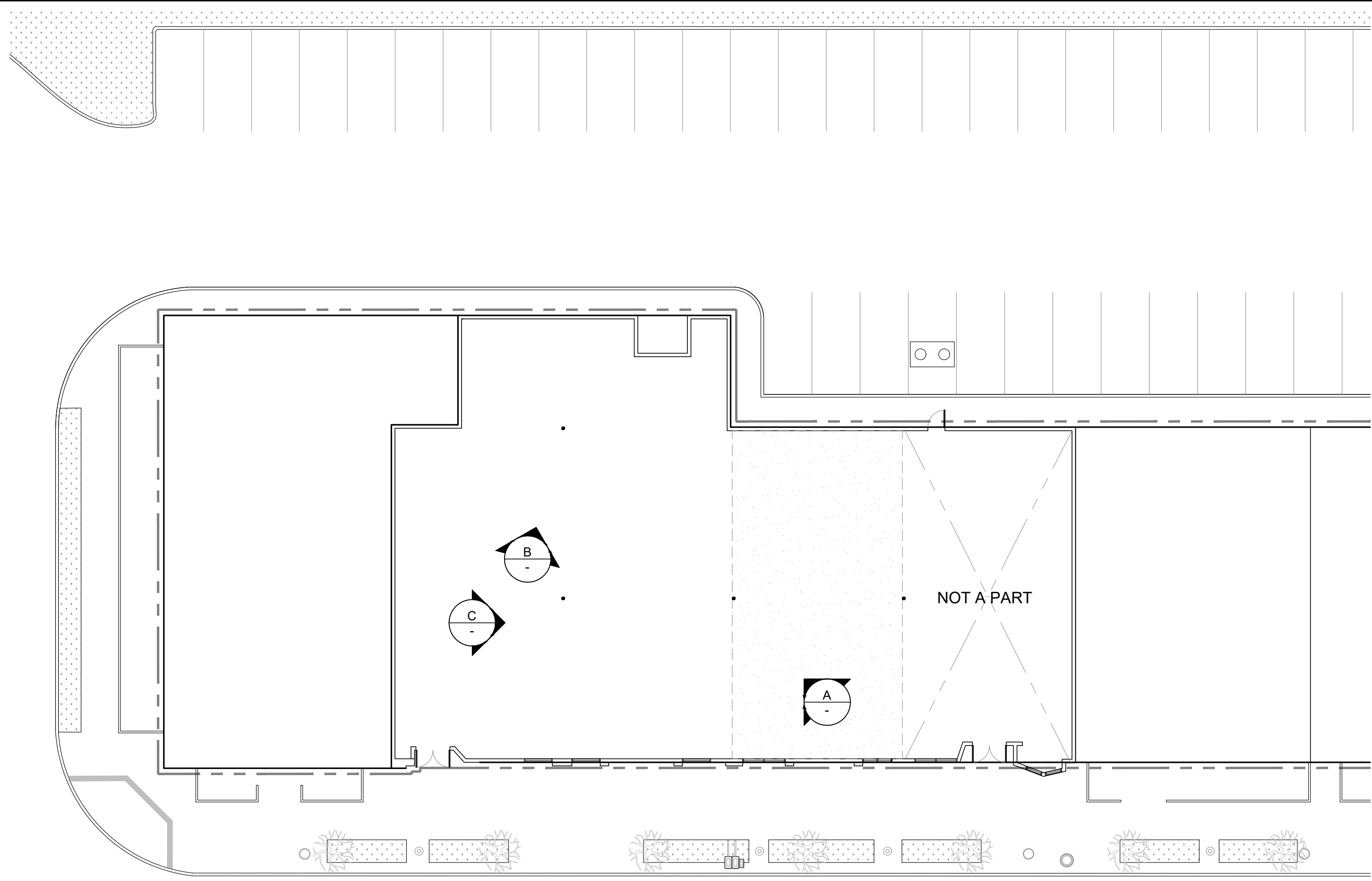
EXISTING INTERIOR

A



EXISTING INTERIOR

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KEY PLAN

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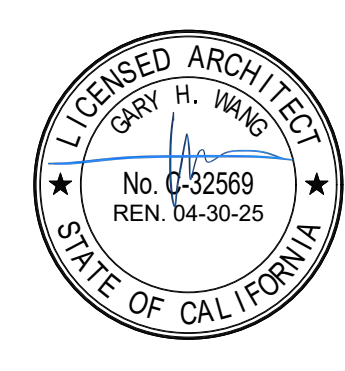


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REVISIONS:

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ISSUE DATE:

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2ND	-
3RD	-

JOB NUMBER

ARCH PROJECT # 23-

DRAWN BY CHECKED BY

IU ADR

SHEET CONTENT

EXISTING SITE PHOTOS

SHEET NO

**A-230**

SCALE: 1/16"=1'-0"





# PROJECT APPLICATION

**GENERAL INFORMATION REQUIRED:** *(Print or Type)*

Name of Proposed Project: THE BOILING CRAB

Location of Project *(Address Required)*:  
120 S. BREA BLVD., SUITE103, BREA,  
CA 92821

Legal Description of Project Location *(Assessor's Parcel No.)*:  
296-364-25

**APPLICANT INFORMATION:**

Applicant's Name: ISAC URAVO Phone: (626) 288-6898

Email: ISAC@GARYWANG.COM

Address: 1000 CORPORATE CENTER DR., SUITE 550

City: MONTEREY PARK Zip Code: 91754

**TRUST ACCOUNT OWNER:** *(see page 4 before completing)*

Name of Individual Financially Responsible for the Project: DADA NGO

Address: 5811 MCFADDEN AVE.

City: HUNTINGTON BEACH Zip Code: 92649

Email: Phone:

**PROJECT CONTACT PERSON:**

Contact Person: ALEJANDRA ZOQUIAPA Phone: (626) 288-6898

Email: ALEJANDRA@GARYWANG.COM

**STAFF USE ONLY**

Accela Record Number: **PLN-2023-00039**

**Project Manager: CN**

**Entitlement File Number(s):**  
**CUP No. 2023-07**

**Related Files:** **PLN-2023-00017**  
**(PR No. 2023-03)**  
**BLD-2022-01516**

**SUBMITTAL INFO:**

Date Time Received:  
**6/19/2023**

Received by:  
**CN**

Deposit Received:  
**CN: Same TC**



**PROJECT INFORMATION:** (Print or Type)

Zoning Designation:  
MU-I

General Plan Designation:

Existing Use:  
COMEDY CLUB/ RESTAURANT

Proposed Use:  
RESTAURANT

Type of Development:

Residential

Commercial

Industrial

Mixed-Use

Lot Size (square feet):  
16,649

Lot Width: 240'

Lot Depth: 80'

Existing Floor Area (square feet):  
RESTAURANT FLOOR AREA: 4,900

Existing FAR:

Existing Lot Coverage:

Proposed No. of Stories: EXISTING 1 STORY

Proposed Building Height: EXISTING 22'-6" & 25'-4"

Existing Parking Stalls: 50

Proposed Parking Stalls: 0

**Project Description:** The project description should include a detailed description of demolition, on-side improvements, proposed use & operations, e.tc. In addition, please describe all building material and color as well as description of signage and their location. Please provide a separate PDF attachment labeled "Project Description if more space is needed.

Check if project description is attached.

THIS LETTER OF REQUEST IS FOR AN ALCOHOL CONDITIONAL USE PERMIT FOR A NEW OUTDOOR DINING AREA AND EXISTING INTERIOR OF THE RESTAURANT "THE BOILING CRAB," LOCATED AT 120 S BREA BLVD (SUITE 103). AFTER DISCUSSION WITH THE PLANNING DIVISION. THE BOILING CRAB WILL BE APPLYING FOR (1) LIQUOR LICENSE: TYPE 41 BEER & WINE LICENSE. THE PURPOSE OF THE NEW CUP IS TO ESTABLISH THE ALCOHOL SERVICE AREA, EXPAND THE AREA TO INCLUDE THE NEW OUTDOOR PATIO, AND PREVENT FUTURE ALCOHOL LICENSING ISSUES WITH THIS TENANT SPACE.

TENANT IMPROVEMENT & EXTERIOR FACADE REMODEL OF AN EXISTING SPACE FOR A NEW "THE BOILING CRAB" RESTAURANT W/ NEW OUTDOOR PATIO. NO SITE DEMOLITION WORK WILL BE TAKING PLACE OUTSIDE OF THE PERIMETER OF THE BUILDING FOOTPRINT. WORK TO INCLUDE PARTIAL DEMOLITION OF EXTERIOR FACADE (AWNINGS, STOREFRONT WINDOWS & PART OF EXTERIOR WALL)& CONSTRUCTION OF NEW EXTERIOR STOREFRONT SYSTEM(WALLS, STOREFRONT DOORS & WINDOWS), NEW METAL FRAMED AWNING PAINTED WITH SHERWIN WILLIAMS IRON ORE SW7069. NEW OUTDOOR WOOD FRAMED PATIO DECK WITH METAL FRAMED RAILING PAINTED BLACK, RECLAIMED WOOD PLANKS TO BE ATTACHED TO RAILING. NEW DAYTON PINE RECLAIMED WOOD SIDING BY E&K VINTAGE WOOD SD1076 TO BE INSTALLED ON ABOVE PORTION OF THE EXTERIOR FACADE. EXTERIOR WALL TO BE PAINTED WITH SHERWIN WILLIAMS ALABASTER WHITE SW 7008. SIGNAGE WILL BE INSTALLED ABOVE THE NEW PROPOSED AWNING . (SIGNAGE WILL BE A DEFFERRED SUBMITTAL)

**TYPE OF REVIEW REQUESTED:** select all that apply

Planning Commission/City Council

- Conditional Use Permit
- Planned Community
- Historic Designation
- Development Agreement
- Precise Development Plan
- Zone Change
- General Plan Amendment
- Temporary Trailer
- Zone Variance
- Certificate of Compatibility
- Other \_\_\_\_\_
- Other \_\_\_\_\_

Administrative/Community Development Director

- Administrative Remedy
- Large Family Day Care
- Other \_\_\_\_\_
- Certificate of Compatibility
- Plan Review



**PROPERTY OWNER INFORMATION & AUTHORIZATION**

Legal Owner's Name (as listed in the Orange County Assessor's records):

Brea, LLC.


Address: P. O. Box 844

City: Santa Monica State: CA Zip Code: 90406

Home/Office Phone: (310) 395-8422 Cell Phone: (310) 666-8888

Email: andy@hospitalityresorts.com

I hereby certify under penalty of perjury under the laws of the State of California that I am the owner(s) of the subject property, or have been authorized to sign on behalf of the property owner, and consent to the filing of this application on the above referenced property. **If the owner did not sign below, a letter of authorization is required.**

By:  Date: March 6, 2023  
(Signature)

By: Zaman Nourafchan, its Manager  
(Printed Name)

**DESIGN PROFESSIONAL OR OWNER OF THE COPYRIGHT IF DIFFERENT (OPTIONAL)**

Name(s): Gary Wang


Email: gary@garywang.com Phone: (626) 288-6898

Address: 1000 Corporate Center Dr.

City: Monterey Park State: CA Zip Code: 91754

**AUTHORIZATION TO REPRODUCE PROJECT PLANS- Gov. Code § 65103.5(f)(2)**

I hereby grant permission for the City of Brea to provide the project plans for inspection as a part of the public record, to copy for members of the public, and post the plans online. This permission shall be constituted as the permission for architectural drawings that contain a copyright annotation and are protected by the federal Copyright Act of 1976 (Government Code Section 65103.5(f)(2)).

By:  Date: 08/29/23  
(Signature)

By: Gary Wang  
(Printed Name)

**TRUST ACCOUNT OWNER INFORMATION**

All project applications require the specified minimum deposit to a Trust Account. Additional funds and/or subsequent deposits may be required depending upon the specified project and level of staff time necessary. All unused funds will be reimbursed following the completion of project and/or review. Staff time devoted to your project will be billed according to our [Development Processing Fees](#). The necessary staff time will vary according to the complexity of the project and may include, initial review and ongoing project processing by City staff including, but not limited to:

- Reviewing plans / submittal packages.
- Routing plans to, and communicating with other city staff and outside agencies.
- Researching documents relative to site history and site visits/inspections.
- Consulting with applicant and other interested parties (e.g. neighbors, adjacent property or business owners) in person or by phone.
- Preparing environmental documents, staff reports, presentations, and resolutions.
- Preparing pertinent maps, graphs and exhibits.
- Attending meetings / public hearings before the Planning Commission / City Council.
- Review of tentative maps and improvement plans by City staff.
- On-site inspections of the project by City staff.
- Consultant services

**STATEMENT OF UNDERSTANDING AND AGREEMENT**

I understand that my initial deposit is a retainer and not a fee. This deposit will be used to set up an account, against which fees shall be charged based on the hourly rate listed in the City fee schedule in effect at the time the work is performed. I understand that should the costs exceed the deposit, I will be billed monthly for any additional deposit amount intended to cover future charges. If I fail to pay the fees when due, I understand approximately that the City will stop working on the application. If the final costs are less, the unused portion of the deposit will be returned to me approximately 60 days after the conclusion of the process or final inspection of the completed project, whichever occurs later.

As the trust account owner, I assume full financial responsibility for all costs incurred by the City in processing this application(s).

**BY SIGNING BELOW, I HEREBY CONSENT THAT I UNDERSTAND THE MATTERS AS DESCRIBED ABOVE AND AGREE TO THE TERMS. I HEREBY FURTHER REPRESENT THAT I HAVE AUTHORITY TO BIND MY BUSINESS BY SIGNING ON ITS BEHALF.**

  
Trust Account Owner's Signature

2/14/23  
Date

Dada Ngo  
Trust Account Owner Printed Name

*Staff Use Only*

ACCELA RECORD NUMBER:

TRUST ACCOUNT NUMBER:

CITY OF BREA

PLANNING COMMISSION NOTICE OF PUBLIC HEARING FOR CONDITIONAL USE PERMIT NO. 2023-07: TO ALLOW ON-SITE SALE AND CONSUMPTION OF BEER AND WINE AT A NEW RESTAURANT (THE BOILING CRAB) LOCATED AT 120 SOUTH BREA BOULEVARD, SUITE 103.

NOTICE IS HEREBY GIVEN, pursuant to State Law, that a public hearing will be held by the Planning Commission to determine whether or not the subject request shall be approved under the provisions of State Law and the Brea City Code as follows:

DATE AND TIME OF HEARING: Tuesday, September 12, 6:00 p.m. All interested persons may appear and be heard at that time.

PLACE OF HEARING: Brea Civic & Cultural Center, Council Chambers 1 Civic Center Circle, Brea, CA 92821

REQUEST: The Applicant, The Boiling Crab, is requesting the following entitlement: Conditional Use Permit No. 2023-07 to allow for on-site sale and consumption of beer and wine at a new restaurant (The Boiling Crab), inclusive of its outdoor patio area.

LOCATION: The project site is located in the City's Downtown area, at 120 South Brea Boulevard, Suite 103. The project site has a General Plan Land Use designation of Mixed Use I and a Zoning designation of Mixed-Use I (MU-I).

ENVIRONMENTAL: The project has been assessed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the environmental regulations of the City. The Project is categorically exempt from the requirements to prepare additional environmental documentation per CEQA Guidelines Section 15301 (Class 1).

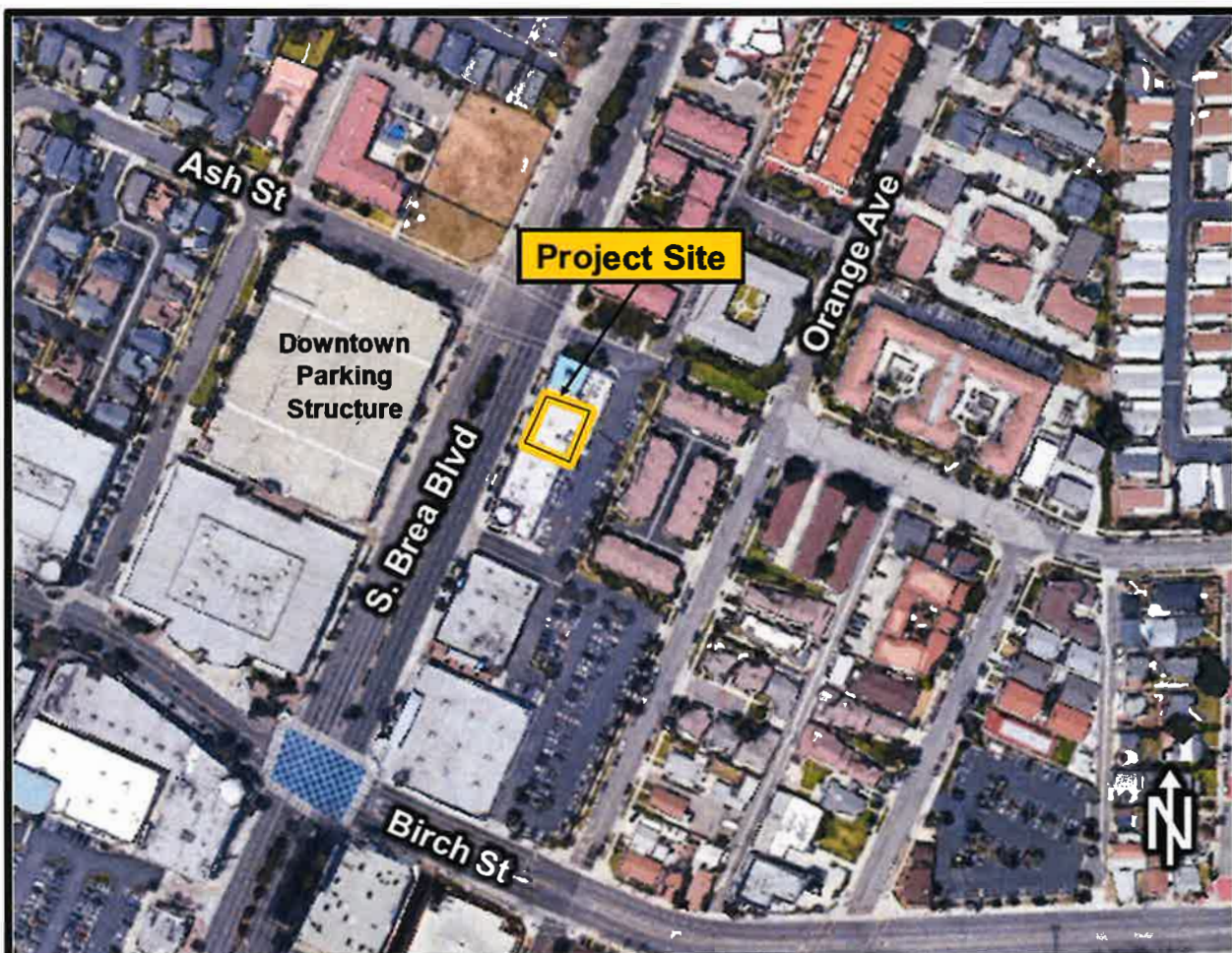
FURTHER INFORMATION MAY BE OBTAINED BY CALLING THE PLANNING DIVISION AT (714) 990-7674 OR BY EMAILING [planner@cityofbrea.net](mailto:planner@cityofbrea.net).

IF YOU CHALLENGE THE PROJECT AND RELATED ENVIRONMENTAL DETERMINATIONS IN COURT, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE, DELIVERED TO THE COMMISSION AT, OR PRIOR TO, THE PUBLIC HEARING.

COMMUNITY DEVELOPMENT DEPARTMENT

*Joanne Hwang*  
Joanne Hwang, AICP, City Planner

AREA MAP



CITY OF BREA notice of public hearing





**Planning Division**  
1 Civic Center Circle  
Brea CA 92821

120 S Brea Blvd



## CEQA NOTICE OF EXEMPTION

**To:** Orange County Clerk-Recorder  
601 N. Ross Street  
Santa Ana, CA 92701

**From:** City of Brea  
Community Development Department  
1 Civic Center Circle  
Brea, CA 92821

**PROJECT TITLE/CASE NO.:** CONDITIONAL USE PERMIT NO. 2023-07, TO ALLOW THE ON-SITE SALE AND CONSUMPTION OF BEER AND WINE AT A NEW RESTAURANT (BOILING CRAB), INCLUSIVE OF ITS OUTDOOR PATIO AREA, IN MIXED-USE I (MU-I) ZONE.

**PROJECT LOCATION:** 120 South Brea Blvd, Suite 103, Brea, CA 92821

**PROJECT DESCRIPTION:** Establish the on-site sale and consumption of beer and wine at a new restaurant (The Boiling Crab) within an existing tenant suite of 5,707 SF and in a new outdoor patio area of 645 SF.

**Name of Public Agency Approving Project:** City of Brea

**Project Applicant & Address:** Isac Uravo (The Boiling Crab)  
5811 McFadden Ave  
Huntington Beach, CA 92649

**Exempt Status: (Check one)**

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption (Sec. 15301)
- Statutory Exemption (15282(s))
- Other:

**Reason why project is exempt:** Class 1 applies to the operation, repair, maintenance, permitting, leasing, licensing or minor alteration of existing public or private structures, and facilities, involving negligible or no expansion of existing or former use. The Project is limited to adding an ancillary service to a restaurant and will not expand or modify the existing building footprint.

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Jason Killebrew, Community Development Director

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Date

City of Brea

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**PLANNING COMMISSION COMMUNICATION**

**TO:** Honorable Chair and Planning Commission

**DATE:** 09/12/2023

**SUBJECT:** **INFORMATIONAL / PROJECT UPDATES**

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**RESPECTFULLY SUBMITTED**

Joanne Hwang, AICP, City Planner

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**Attachments**

A. Planning Division Updates

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# City of Brea

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# Project Updates

## CONTENTS

- **IN PROCESS/REVIEW**

Story Map ID	Project Name	Address
1	Lambert Road Office Condo Tentative Parcel Map	700-800 W. Lambert Road
2	Amazon Facility	275 Valencia Avenue
3	Accessory Dwelling Unit at 415 W. Date Street	415 W. Date Street
4	Pet Aquamation	580 W. Lambert Road
5	AT&T Wireless Rooftop Facility	380 W. Central Avenue
6	Albertson's Distribution Center Office Building	200 N. Puente Street
7	Origami Handroll Bar – On-site Alcohol	1080 E. Imperial Highway Suite E-2
8	California Spine Institute	721 E. Imperial Highway
9	Smart Parke Pet Daycare	835 E. Birch Street
10	Boiling Crab – On-site Alcohol	120 S. Brea Boulevard
11	Brea Place Sign Program Amendment	100-145 S. State College Boulevard
12	Corazon Modern Kitchen – Expansion of on-site Alcohol	120 S. Brea Boulevard #106
13	Mills Act Contract	321 S. Madrona Avenue
14	Westmoreland Wall Height	1944 Westmoreland Drive
15	Wireless Modification	185 E. Alder Street
16	Loading Dock Addition	750 Challenger Street
17	Wireless Co-location	145 S. State College Boulevard
18	Medical Use Parking Modification	330 E. Lambert Road
19	Ulta Façade Modification	2395 E. Imperial Highway
20	Brea/Fir Residential project	685 S. Brea Boulevard
21	Super Juicy Dumpling – On-Site Alcohol	2445 E. Imperial Highway #A



• **APPROVED/ENTITLED**

Story Map ID	Project Name	Address
1	Mercury Lane Apartments	SE corner of Mercury Lane and Berry Street
2	Brea Imperial Center Remodel	SW corner of State College Boulevard and Imperial Highway
3	Western RealCo	2929 E. Imperial Highway
4	Transwestern	285 N. Berry Street; 711 W. Imperial Highway
5	The Phoenix Club	375 W. Central Avenue
6	Brea Regional Animal Hospital	2500 E. Imperial Highway, Suite 200
7	Aloha Veterinary Hospital	407 E. Imperial Highway, Suite F
8	Starbucks Drive-Thru	2 Pointe Drive
9	UFC Gym	220 S. Brea Boulevard
10	Equestrian Center Amendment	4449 Carbon Canyon Road
11	Brea 265 Specific Plan	Valencia Avenue; Lambert Road; Carbon Canyon Road; Rose Drive
12	Brea 265 Tentative Tract Map	Valencia Avenue; Lambert Road; Carbon Canyon Road; Rose Drive
13	Medical Training Facility	910 E. Birch Street, Unit 380
14	Accessory Dwelling Unit	527 E. Elm Street
15	Personal Training Facility	650 N. Berry Street
16	Brea Metro Office Condo Tentative Parcel Map	330 E. Lambert Road
17	Industrial Building	2727 E. Imperial Highway
18	Brea Mall Mixed Use Project	100 Brea Mall Road
19	Gaslight Square Redevelopment	255 E. Imperial Highway
20	Southlands Church Fence Height	2950 E. Imperial Highway
21	Residence Inn Fence Height	180 S. State College Boulevard
22	Boiling Point – Outdoor Patio	120 S. Brea Boulevard #106
23	The Craft Beauty Bar	3000 E. Birch Street, Suite 109
24	Dr. Squatch Screening Wall	114 S. Berry Street
25	Brea Plaza Remodel (Buildings E-G)	1639 E. Imperial Highway
26	Popping Yolk – On-site Alcohol	1160 E. Imperial Highway Suite J

- **REPEALED/DENIED**

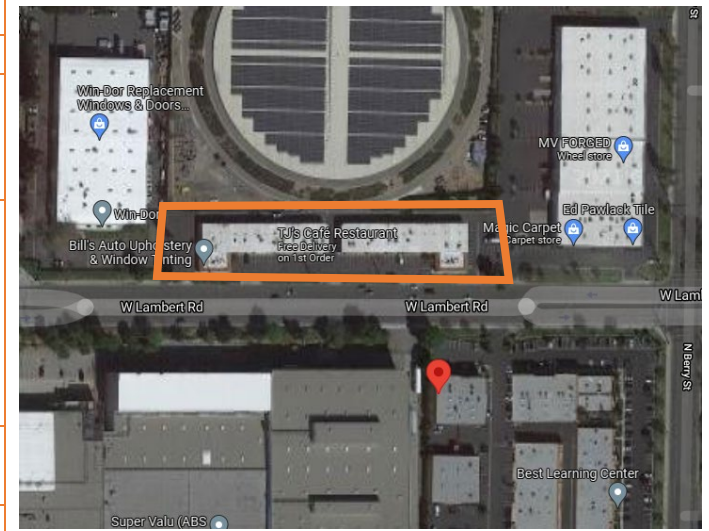
Story Map ID	Project Name	Address
1	Shoot SoCal	524 E. Imperial Highway
2	Brea Plaza Mixed Use	1639 E. Imperial Highway

# In-Process/Review

## LAMBERT ROAD OFFICE CONDO TENTATIVE PARCEL MAP (MAP ID: 1)

Case Type:	<ul style="list-style-type: none"> <li>Tentative Parcel Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>TPM 2021-189; <b>Accela No.: PLN-2021-00061</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Number (APN): 296-223-13</li> <li>700-800 W Lambert Road.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to convert two existing 12-unit buildings (total 24 units) into 24 office condominium units. No new construction is proposed; existing unit boundaries, floor plans and floor areas will not change.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>801 Lambert LLC, A California Limited Liability Company (Mark Blumenthal)</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>October 25, 2021</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>

### PROJECT MAP:



<b>AMAZON FACILITY (MAP ID: 2)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR No. 2022-09; <b>ACCELA No. PLN 2022-00042</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>275 W. Valencia</li> <li>Assessor's Parcel Number (APN): 320-233-17</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The Project proposes to demolish the existing 3-story, 637,503 square-foot, 60-foot high office building (previously occupied by Bank of America) and construct a new 181,500 square-foot, 44-foot high warehouse building that will be used as Amazon's parcel delivery facility.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Tim Reed of Ware Malcomb</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>May 31, 2022</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> <li>EIR NOP was issued on July 13, 2023, and the public comment period ended on August 11, 2023.</li> <li>EIR Scoping Meeting was held on July 24, 2023.</li> </ul>

**PROJECT MAP:**



**ACCESSORY DWELLING UNIT AT 415 W. DATE STREET (MAP ID: 3)**

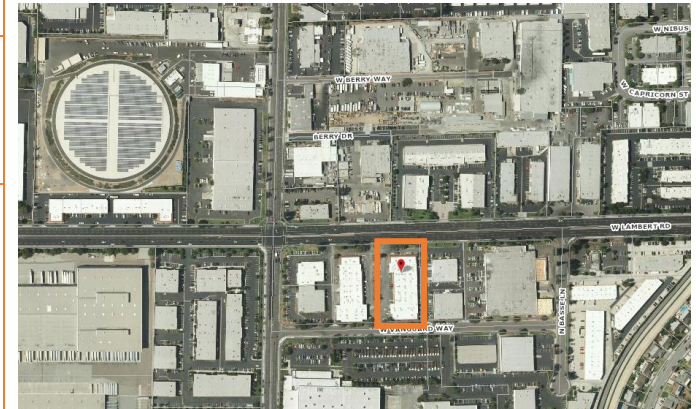
Case Type:	<ul style="list-style-type: none"> <li>• Certificate of Compatibility</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>• CC No. 2022-02; <b>ACCELA No. PLN 2022-00049</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>• 415 W. Date Street</li> <li>• Assessor's Parcel Number (APN): 284-213-36</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>• The applicant is proposing to construct a 1,200 square foot two-story detached ADU on an approximately 7,864 square foot lot developed with an approximately 1,018 square foot single-family residence.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>• Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>• Karina Bernal</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>• June 29, 2022</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>• Pending resubmittal from the applicant.</li> </ul>

**PROJECT MAP:**



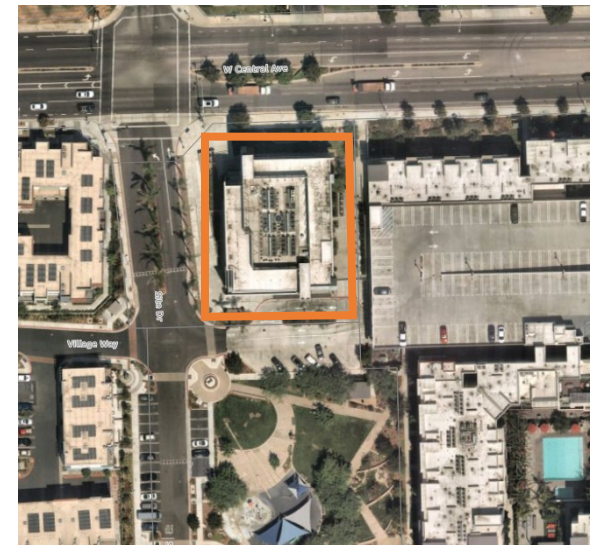
<i>PET AQUAMATION BUSINESS (MAP ID: 4)</i>	
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-15; <b>ACCELA No. PLN 2022-00053</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>580 W Lambert Road, Unit E</li> <li>Assessor's Parcel Number (APN): 296-081-07</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to establish a pet aquamation (cremation) facility with mobile after-life care veterinary services. No live animals are proposed on-site.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Dr. Annie Forslund (Home Pet Euthanasia of Southern California)</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>July 19, 2022</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>

**PROJECT MAP:**





<b>AT&amp;T WIRELESS ROOFTOP FACILITY (MAP ID: 5)</b>		<b>PROJECT MAP:</b>
Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>PR No. 2022-12; PR No. 2022-13; <b>ACCELA No: PLN-2022-00074</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-241-10</li> <li>380 W Central Ave</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to install a new rooftop wireless communication facility on an existing commercial office building.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>New Cingular Wireless PCS, LLC dba AT&amp;T Wireless</li> </ul>	
Application submittal Date:	<ul style="list-style-type: none"> <li>November 22, 2022</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>	





<i>ALBERTSON'S DISTRIBUTION CENTER OFFICE BUILDING (MAP ID: 6)</i>	
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit, Precise Development, Administrative Remedy</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-02; PD No. 2023-01; AR No. 2023-03; <b>ACCELA No: PLN-2023-00027</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-231-12</li> <li>200 N Puente St</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing a new two-story office building for an Albertson's distribution center.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>John Doan</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>April 25, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>

**PROJECT MAP:**



**ORIGAMI HANDROLL BAR – ON-SITE ALCOHOL (MAP ID: 7)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-04; <b>ACCELA No: PLN-2023-00029</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor’s Parcel Number (APN): 284-181-01</li> <li>1080 E Imperial Hwy, Suite E-2</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing an on-sale beer and wine alcohol license at a sit-down restaurant (Origami Handroll Bar).</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Jay Yim</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>April 25, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Planning Commission review scheduled on September 12, 2023</li> </ul>

**PROJECT MAP:**



<b>CALIFORNIA SPINE INSTITUTE (MAP ID: 8)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit, Administrative Remedy</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-05; AR No. 2023-04; <b>ACCELA No: PLN-2023-00030</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-314-07</li> <li>721 E Imperial Hwy</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing a second story addition to an existing office building along with related site improvements.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Raed Ali and Eric Lin</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>April 27, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Application was resubmitted on August 8, 2023, currently under review.</li> </ul>

**PROJECT MAP:**



**SMARTE PARKE PET DAYCARE (MAP ID: 9)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-06; <b>ACCELA No: PLN-2023-00035</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-104-14</li> <li>835 E Birch St</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to establish a luxury pet daycare and boarding facility (Smart Parke) within an existing commercial building.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Josh Drake (Smart Parke)</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>May 10, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Application was resubmitted on July 28, 2023, currently under review.</li> </ul>

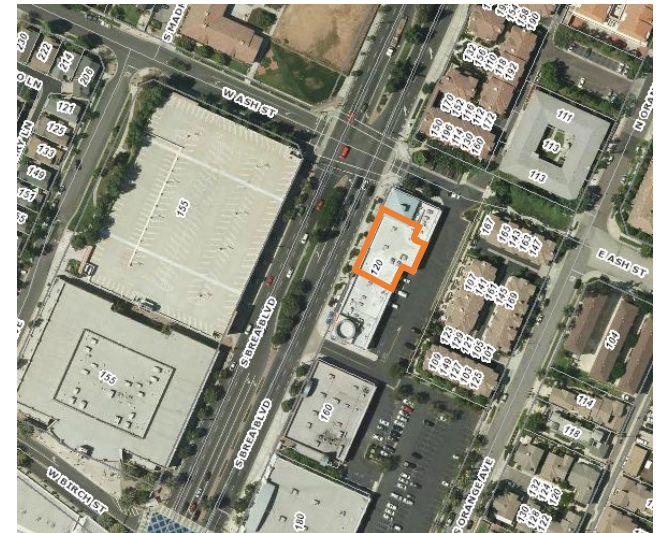
**PROJECT MAP:**



**BOILING CRAB – ON-SITE ALCOHOL (MAP ID: 10)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-07; <b>ACCELA No: PLN-2023-00039</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor’s Parcel Number (APN): 296-364-25</li> <li>120 S Brea Blvd, Suite 103</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing on-sale beer and wine alcohol license at a sit-down restaurant (Boiling Crab).</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Isac Uravo</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>June 19, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Planning Commission hearing scheduled for September 12, 2023</li> </ul>

**PROJECT MAP:**





**BREA PLACE SIGN PROGRAM AMENDMENT (MAP ID: 11)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-08; <b>ACCELA No: PLN-2023-00042</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-322-07, 319-322-08, 319-322-02, 319-331-18, 319-332-03, 319-331-19, 319-331-17</li> <li>100-145 S State College Blvd</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to amend the existing Brea Place master sign program.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Ashley Yu (JB3D)</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>July 3, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>The application was deemed complete on August 25, 2023.</li> <li>The Planning Commission review is scheduled on September 26, 2023.</li> </ul>

**PROJECT MAP:**



**CORAZON MODERN KITCHEN – EXPANSION OF ON-SITE ALCOHOL (MAP ID: 12)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-09; <b>ACCELA No: PLN-2023-00045</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor’s Parcel Number (APN): 296-364-25</li> <li>120 S. Brea Blvd #106</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to expand the on-site alcohol from beer and wine to full service, and into the patio area.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Mariara Lazae</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>July 11, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>

**PROJECT MAP:**





<b>MILLS ACT CONTRACT (MAP ID: 13)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Mills Act</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>MA2023-01; <b>ACCELA No: PLN-2023-00042</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-251-06</li> <li>321 S. Madrona Avenue</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting an approval of a Mills Act for the property.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Kathryn Demesa Sebastian</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>June 6, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant.</li> </ul>

**PROJECT MAP:**



**WESTMORELAND WALL HEIGHT (MAP ID: 14)**

Case Type:	<ul style="list-style-type: none"> <li>Administrative Remedy</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>AR 2023-05; <b>ACCELA No: PLN-2023-00038</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 320-013-23</li> <li>1944 Westmoreland Drive</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to increase the height of the existing wall with a fence from 6 feet to 8 feet.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Marcia &amp; Ed Munson</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>June 8, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Application was resubmitted on August 15, 2023, currently under review.</li> </ul>

**PROJECT MAP:**



**WIRELESS FACILITY MODIFICATION (MAP ID: 15)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-02; <b>ACCELA No: PLN-2023-00012</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-333-42</li> <li>185 E. Alder</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to modify an existing wireless facility to replace antennas and ancillary equipment.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Stephanie Rudolph</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>February 22, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant</li> </ul>

**PROJECT MAP:**



**LOADING DOCK ADDITION (MAP ID: 16)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-05; <b>ACCELA No: PLN-2023-00031</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-223-19</li> <li>750 Challenger Street</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to add a secondary loading dock and restripe parking stalls.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Esther Yang</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>April 27, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Pending resubmittal from the applicant</li> </ul>

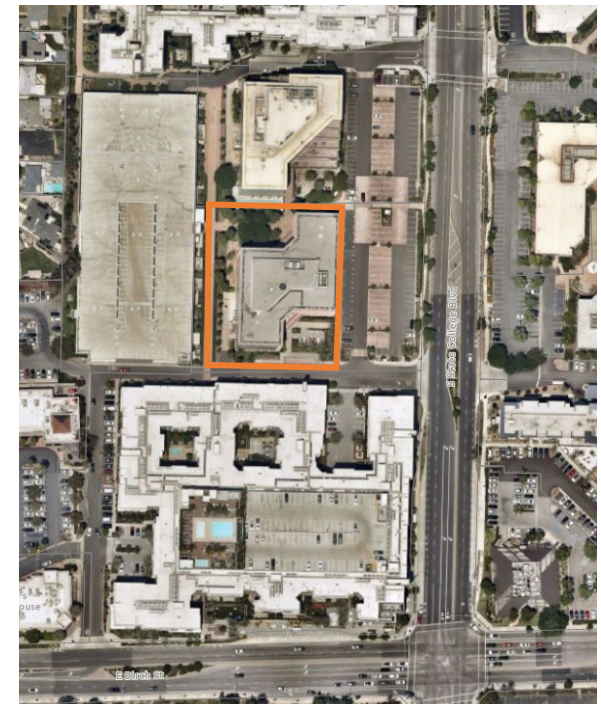
**PROJECT MAP:**



**WIRELESS FACILITY MODIFICATION (MAP ID: 17)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-07; <b>ACCELA No: PLN-2023-00047</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-331-12</li> <li>145 S. State College Boulevard</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing to modify an existing wireless facility to add additional antennas and support equipment.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Meghan Graham</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>July 18, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Application was resubmitted on August 22, 2023, currently under review.</li> </ul>

**PROJECT MAP:**





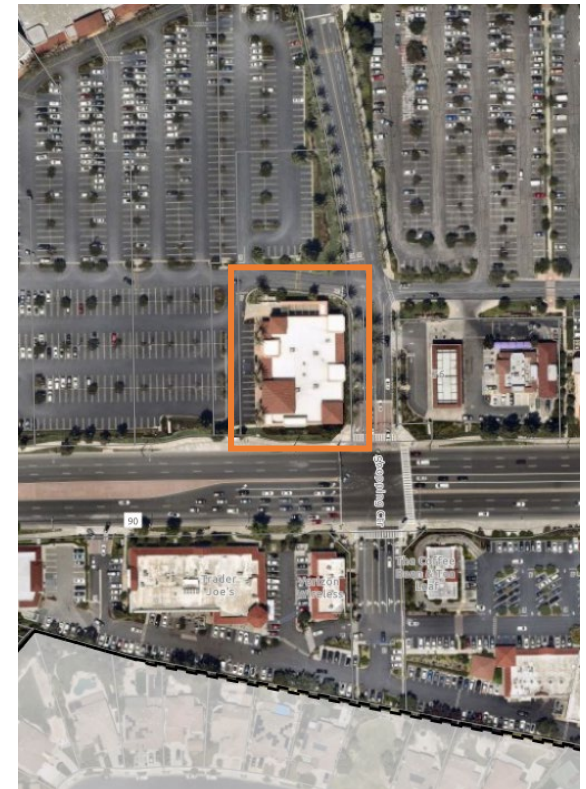
<i>MEDICAL USE PARKING MODIFICATION (MAP ID: 18)</i>		<b>PROJECT MAP:</b>
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>CUP 2023-10; <b>ACCELA No: PLN-2023-00056</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 319-192-15</li> <li>330 E. Lambert Road</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The applicant is requesting a reduction in the required on-site parking for the new parking deficiency to be created due to introduction of medical office uses</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Gordon Lau</li> </ul>	
Application submittal Date:	<ul style="list-style-type: none"> <li>August 1, 2023</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Under review.</li> </ul>	



**ULTRA FAÇADE MODIFICATION (MAP ID: 19)**

Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-10; <b>ACCELA No: PLN-2023-00051</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 320-331-18</li> <li>2395 E. Imperial Highway Suite B</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing an exterior façade improvements to an existing building.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Tom Pytel</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>August 1, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under review.</li> </ul>

**PROJECT MAP:**

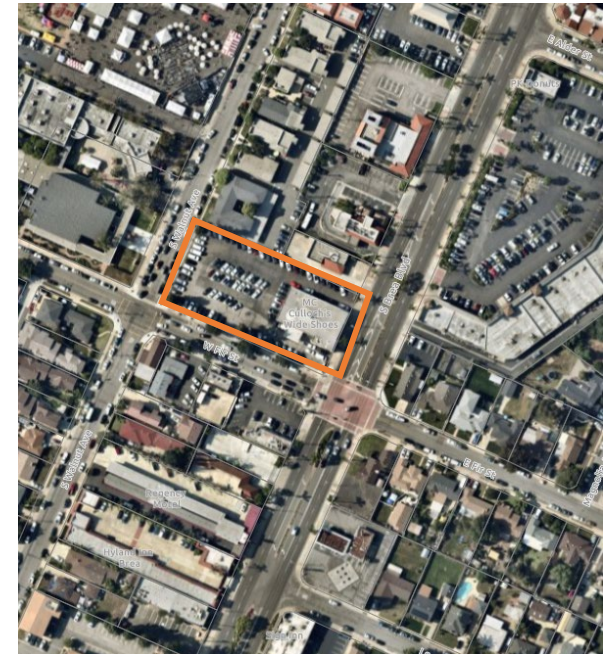




**BREA/FIR RESIDENTIAL PROJECT (MAP ID: 20)**

Case Type:	<ul style="list-style-type: none"> <li>Preliminary Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li><b>ACCELA No: PLN-2023-00055</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 284-282-06</li> <li>685 S. Brea Boulevard</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing a new 32-unit, 3 story residential development (8 live-work units and 24 townhomes)</li> <li><i>This is a SB 330 preliminary application</i></li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Patrick Chien of City Ventures</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>August 1, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under review.</li> </ul>

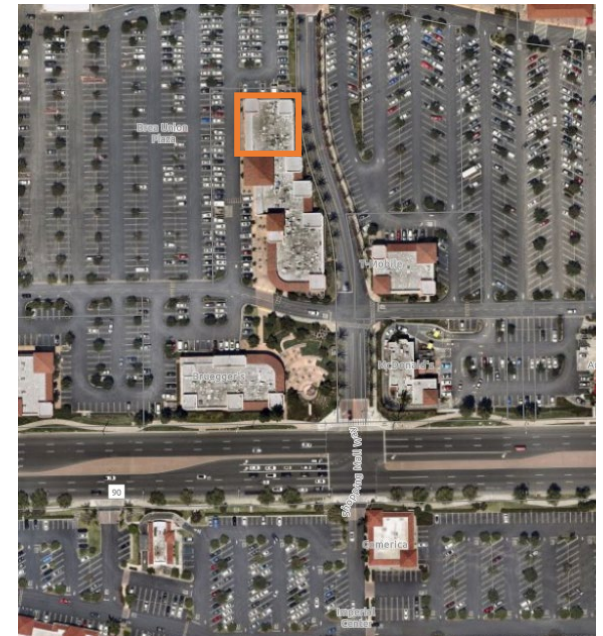
**PROJECT MAP:**



***SUPER JUICY DUMPLING – ON-SITE ALCOHOL (MAP ID: 21)***

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 2023-11; <b>ACCELA No: PLN-2023-00058</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor’s Parcel Number (APN): 320-331-05</li> <li>2445 E. Imperial Highway #A</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The applicant is proposing on-sale beer and wine alcohol license at an existing sit-down restaurant (Super Juicy Dumpling).</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Graham Bultema, Assistant Planner (<a href="mailto:grahamb@cityofbrea.net">grahamb@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Mingfeng Liu</li> </ul>
Application submittal Date:	<ul style="list-style-type: none"> <li>August 17, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under review.</li> </ul>

**PROJECT MAP:**



# Approved/Entitled

## MERCURY LANE APARTMENTS (Map ID: 1)

Case Type:	<ul style="list-style-type: none"> <li>Planned Community Master Plan, Zone Change, Development Agreement, Environmental Impact Report</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PCMP No. 19-01, ZC No. 19-01, DA No 19-01, FEIR 19-01</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 296-141-05</li> <li>Southeast corner of Mercury Lane and Berry Street</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project is a new 5-story building with 114 workforce residential units.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant	<ul style="list-style-type: none"> <li>Dwight Manely</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission recommended approval of the project to the City council on April 28, 2020</li> <li>City Council approved the project on June 2, 2020</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

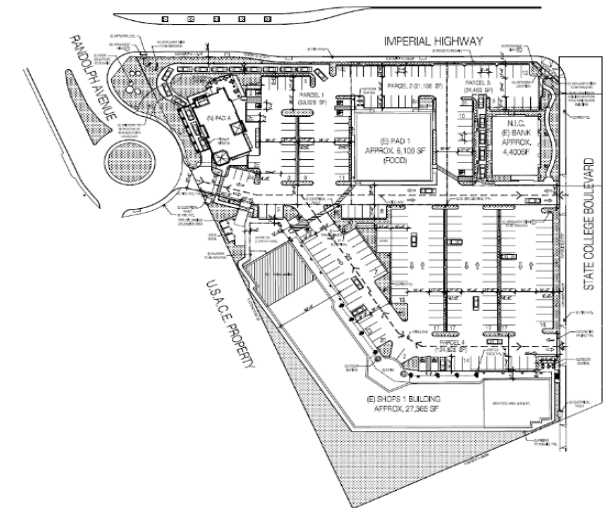
### RENDERING:



**BREA IMPERIAL CENTER (Map ID: 2)**

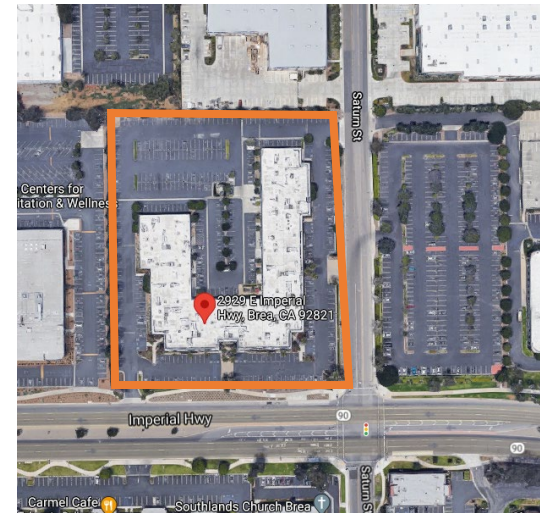
Case Type:	<ul style="list-style-type: none"> <li>Amendment to Conditional Use Permit 18-06, Precise Development, Conditional Use Permits, Tentative Parcel Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 18-05, PD 17-03, CUP 18-07, TPM 2017-01</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 029-331-22, -28</li> <li>311-391 South State College &amp; 1130-1160 Imperial Highway</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes façade improvements, demolition and reconstruction of a portion of the Brea Imperial Center and parking modifications to the center with a new comprehensive sign program. In addition, a Tentative Parcel Map to subdivide the 4.1-acre site into two parcels.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant	<ul style="list-style-type: none"> <li>Winston Liu of JLJ (USA) Investments, LLC</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>The Planning Commission approved the project on July 24, 2018.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

**PROJECT MAP:**



<b>WESTERN REALCO (MAP ID: 3)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Plan Review, Administrative Remedy</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 21-06; AR 21-03; MND 21-02; ACCELA No. PLN-2021-000030</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Number (APN): 320-091-63</li> <li>2929 E Imperial Hwy</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes demolition of the existing office building and construction of a new 131,500 square foot industrial building, with an increase in the permitted lot coverage in the M-1 Zone.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Western Realco, LLC (Jeremy Mape)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission on August 24, 2021.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

**PROJECT MAP:**





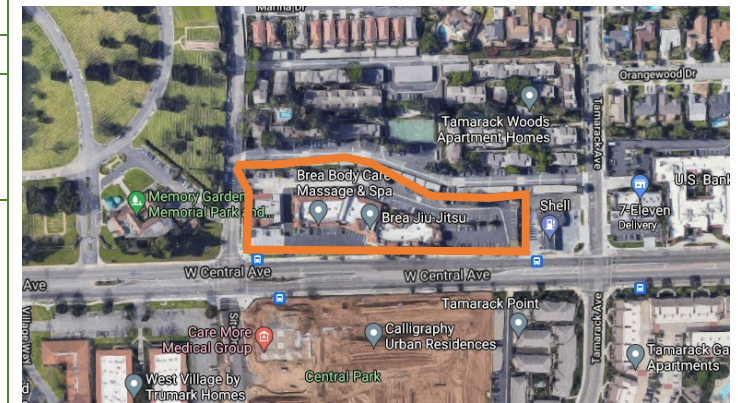
<b>TRANSWESTERN (MAP ID: 4)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Precise Development, Mitigated Negative Declaration, Conditional Use Permit, Tentative Parcel Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PD No. 21-01; MND No. 21-01, CUP 21-08, TPM 2021-140; <b>ACCELA No. PLN-2021-00007</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>285 N Berry Street and 711 W Imperial Hwy</li> <li>Assessor's Parcel Number (APN): 296-101-08; 296-101-05; 296-101-03</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project is a development of a new 126,797 square foot industrial building with associated parking and landscaping.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Transwestern Company (Sara Santomauro)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission on September 28, 2021</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

**PROJECT MAP:**



<b>THE PHOENIX CLUB (MAP ID: 5)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit for banquet hall, parking modification, and on-site alcohol license.</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 21-04, -05, -06; <b>ACCELA No. PLN-2021-00046</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>375 W Central Ave</li> <li>Assessor's Parcel Number (APN): 304-041-10</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project is a new restaurant/bar with a banquet hall. In addition, the applicant will also occupy three tenant spaces for office and multi-purpose rooms for member only classes, meeting, etc.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano (<a href="mailto:esteban@cityofbrea.net">esteban@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>The Phoenix Club (Linda Kristant)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission on April 26, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

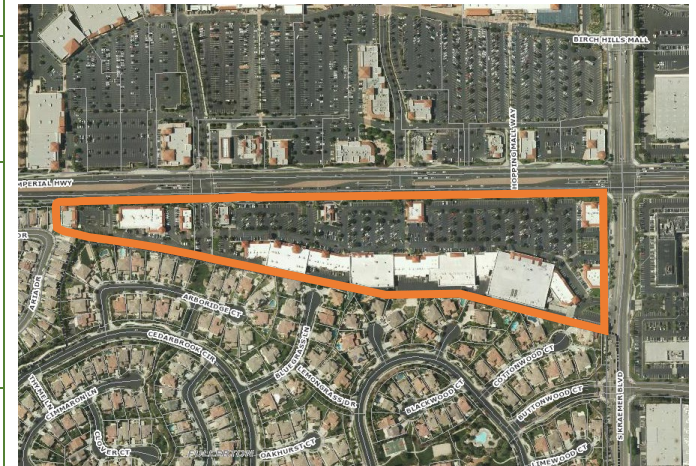
**PROJECT MAP:**





<b>BREA REGIONAL ANIMAL HOSPITAL (MAP ID: 6)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-02; <b>ACCELA No. PLN 2022-00010</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>2500 E. Imperial Highway, Unit 200</li> <li>Assessor's Parcel Number (APN): 336-541-30</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes an animal hospital with no changes to the exterior of the building and no building expansion</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Richard Wright</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission on June 28, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

**PROJECT MAP:**



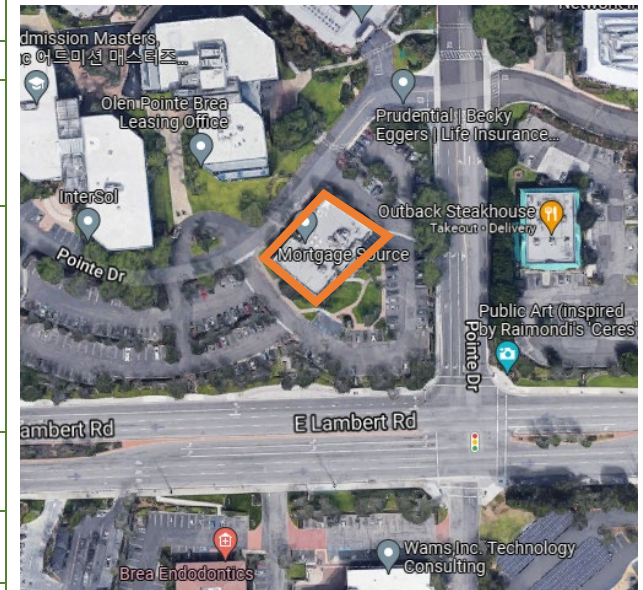
<i>ALOHA VETERINARY HOSPITAL (MAP ID: 7)</i>	
Case Type	<ul style="list-style-type: none"> <li>• Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>• CUP No. 2022-11; <b>ACCELA No. PLN 2022-00035</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>• 407 W. Imperial Hwy, Suite F</li> <li>• Assessor's Parcel Number (APN): 296-142-08</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>• The project establishes an animal hospital (Aloha Veterinary Hospital) within an existing commercial tenant space at Brea Gateway Center.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>• Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>• Aloha Veterinary Hospital (Ignacio Jimenez)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>• Approved by Planning Commission on July 26, 2022.</li> </ul>
Notes:	<ul style="list-style-type: none"> <li>• Under construction</li> </ul>

**PROJECT MAP:**



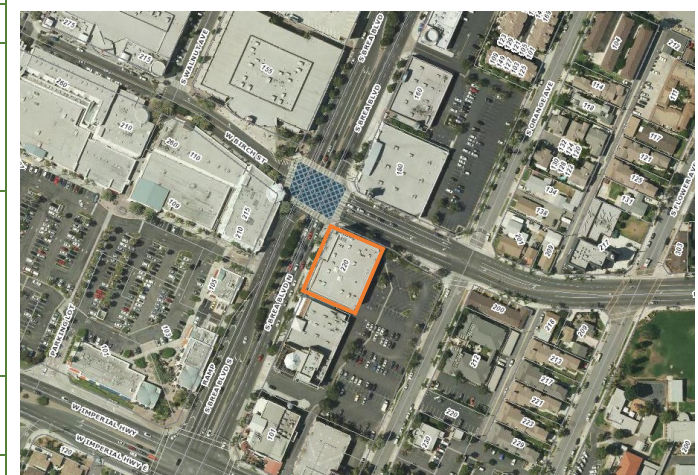
<b>STARBUCKS DRIVE-THRU (MAP ID: 8)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Amendment to Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP 2021-10; <b>Accela No: PLN-2021-00051</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Number (APN): 319-381-05</li> <li>2 Pointe Drive</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project is new Starbucks with a drive-thru &amp; retail tenant space. The location was previously occupied by Souplantation.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Dale Lyon</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by Planning Commission July 26, 2022</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Under construction</li> </ul>

**PROJECT MAP:**



<i>UFC GYM (MAP ID: 9)</i>	
Case Type:	<ul style="list-style-type: none"> <li>• Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>• CUP No. 2022-06; <b>ACCELA No. PLN 2022-00020</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>• 220 S. Brea Boulevard</li> <li>• Assessor's Parcel Number (APN): 319-291-36</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>• The project establishes a UFC gym within an existing 27,903 square foot two-story commercial building in Brea Downtown.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>• Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>• Bryan Montoya</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>• Approved by the Planning Commission on July 26, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>• Under construction</li> </ul>

**PROJECT MAP:**



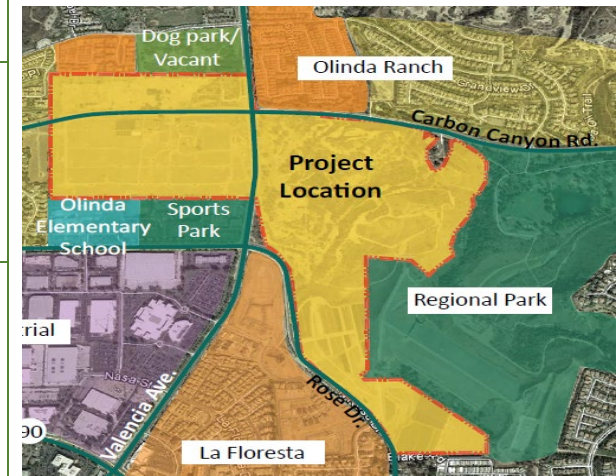


<b>EQUESTRIAN CENTER AMENDMENT (MAP ID: 10)</b>		<b>PROJECT MAP:</b>
Project:	<ul style="list-style-type: none"> <li>Conditional Use Permit (Amendment to CUP No. 12-1977)</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-07; <b>ACCELA No. PLN 2022-00021</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>4449 Carbon Canyon Road</li> <li>Assessor's Parcel Number (APN): 308-011-15</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The project amends CUP 12-1977 to increase the amount of horses allowed for boarding purposes at an existing equestrian center (El Rodeo Stables) from 60 to 100 horses.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Bill Klovstad &amp; Fran Klovstad</li> </ul>	
Approval Dates:	<ul style="list-style-type: none"> <li>Approved by the Planning Commission on August 23, 2022.</li> </ul>	
Notes:	<ul style="list-style-type: none"> <li>In operation</li> </ul>	



<b>BREA 265 SPECIFIC PLAN (MAP ID: 11)</b>	
Case Types:	<ul style="list-style-type: none"> <li>• Specific Plan, General Plan Amendment, Zone Change, and Development Agreement</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>• <b>ACCELA No. PLN-2020-00011</b>; ENV No. 22-01, GPA No. 22-01, ZC No. 22-01, DA No. 22-01, SP No. 22-01</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>• Accessor’s Parcel Map (APN): 322-031-24; 322-031-23; 322-031-31; 322-031-04; 322-031-12; 322-031-01; 322-031-10; 322-031-15; 322-031-14; 322-031-13; 322-031-13; 3200-070-02; 322-072-02; 322-031-21; 322-03-121; 322-031-19; 320-071-29; 320-073-07</li> <li>• The 262-acre site, commonly known as Brea 265, is generally bounded by Lambert Road/Carbon Canyon Road to the north, Carbon Canyon Regional Park to the east, Birch Street and Rose Drive to the South, and residential uses to the west.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>• The project includes the following: (1) General Plan Amendment to change the General Plan Land Use designation of the site from Hillside Residential and Low Density Residential to Brea 265 Specific Plan; (2) Zone Change to change the zoning of the site from HR and R-1 to Brea 265 Specific Plan; (3) Specific Plan for the adoption of a new specific plan providing up to 1,100 residential dwelling units, parks and recreational amenities, and open space and right of way improvements; (4) Tentative Tract Map for the subdivision of the project site for residential, parks and open space uses; and (5) Development Agreement defining terms of development by vesting the City’s approval and specifying public benefits and improvements</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>• Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>• AERA ENERGY</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>• Planning Commission recommended approval of the project to the City Council on May 24, 2022.</li> <li>• City Council reviewed the SP, GPA, ZC, and DA for the Project on June 21, 2022. The project was continued to July 19, 2022, where it was approved by City Council.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>• N/A</li> </ul>

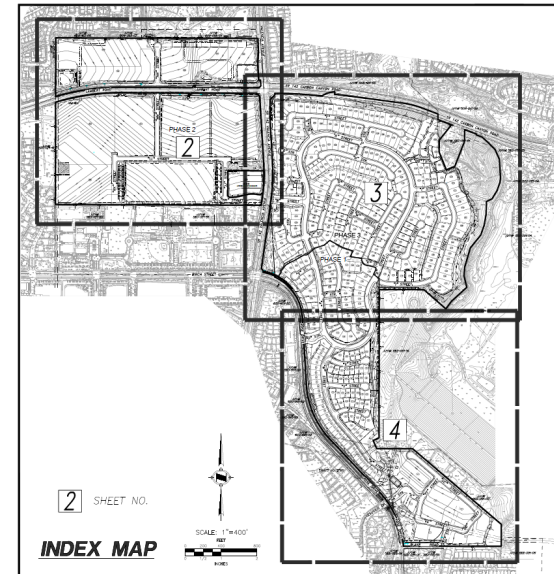
**PROJECT MAP:**





<b>BREA 265 TENTATIVE TRACT MAP (MAP ID: 12)</b>	
Case Types:	<ul style="list-style-type: none"> <li>Tentative Tract Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li><b>ACCELA No. PLN 2020-00011</b>; TTM 16423</li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Map (APN): 322-031-24; 322-031-23; 322-031-31; 322-031-04; 322-031-12; 322-031-01; 322-031-10; 322-031-15; 322-031-14; 322-031-13; 322-031-13; 3200-070-02; 322-072-02; 322-031-21; 322-03-121; 322-031-19; 320-071-29; 320-073-07</li> <li>The 262-acre site, commonly known as Brea 265, is generally bounded by Lambert Road/Carbon Canyon Road to the north, Carbon Canyon Regional Park to the east, Birch Street and Rose Drive to the South, and residential uses to the west.</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>A Tentative Tract Map for the subdivision of the project site for residential, parks and open space uses. The TTM would implement the approved Brea 265 Specific Plan.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>AERA ENERGY</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the TTM for the project on September 27, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>N/A</li> </ul>

**PROJECT MAP:**



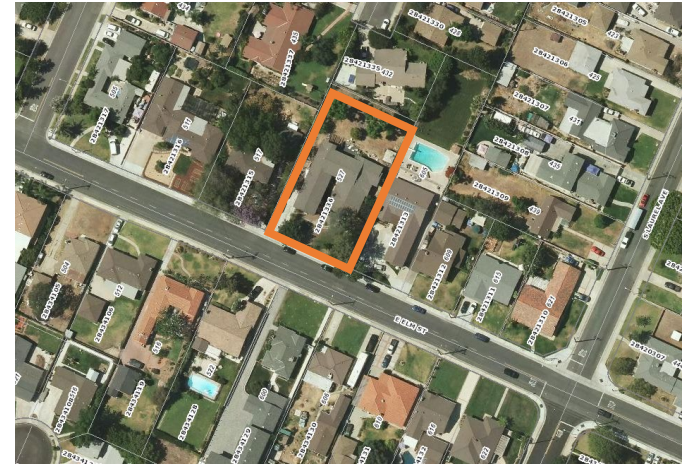
<b>MEDICAL TRAINING FACILITY (MAP ID: 13)</b>	
Case Types:	<ul style="list-style-type: none"> <li>• Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>• CUP No. 2022-08; <b>ACCELA No. PLN 2022-00024</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>• 910 E Birch Street, Unit 380</li> <li>• Assessor’s Parcel Number (APN): 319-101-46</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>• The project establishes a medical training facility, and a tenant improvement of an existing 2,400 square foot commercial tenant space to facilitate such use.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>• Planning Division (<a href="mailto:Planner@cityofbrea.net">Planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>• Aesthetic Immersion (Brian Robertson)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>• Planning Commission approved the project on September 27, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>• Under construction</li> </ul>

**PROJECT MAP:**



<i>ACCESSORY DWELLING UNIT AT 527 E ELM STREET (MAP ID: 14)</i>	
Case Type:	<ul style="list-style-type: none"> <li>• Certificate of Compatibility</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>• CC No. 2022-01; <b>ACCELA No. PLN 2022-00019</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>• 527 E. Elm Street</li> <li>• Assessor's Parcel Number (APN): 284-213-36</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>• The project establishes a new 1,496 square foot detached ADU.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>• Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>• Frederick Talactac</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>• Planning Commission approved the project on October 25, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>• In building permit plan check process</li> </ul>

**PROJECT MAP:**

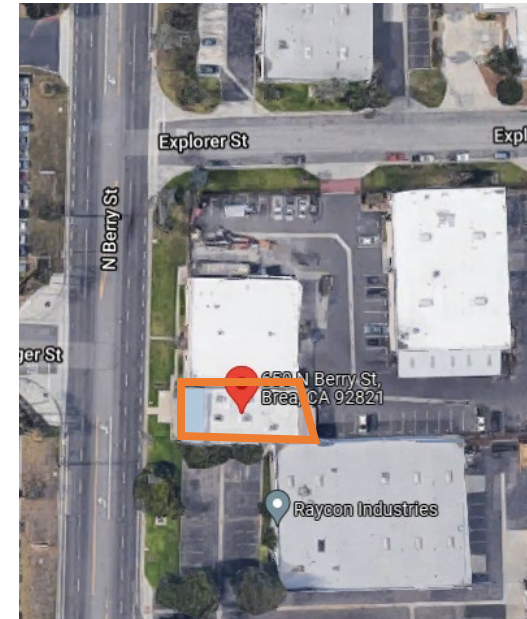




**PERSONAL TRAINING FACILITY (MAP ID: 15)**

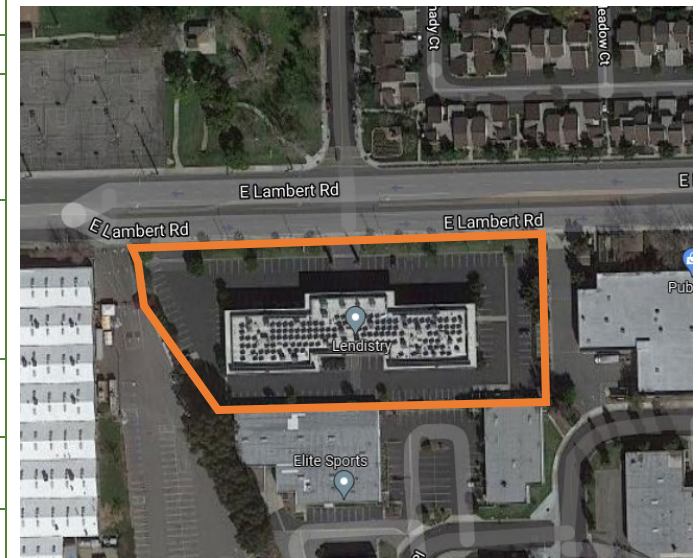
Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2021-15; <b>Accela No: PLN-2021-00056</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor’s Parcel Number (APN): 296-132-01</li> <li>650 N Berry St</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes a new personal training facility (gym) with ancillary office space.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:JessicaN@cityofbrea.net">JessicaN@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Adela Miller</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the project on December 13, 2022.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>


**PROJECT MAP:**



<i>BREA METRO OFFICE CONDO TENTATIVE PARCEL MAP (MAP ID: 16)</i>	
Case Type:	<ul style="list-style-type: none"> <li>Tentative Parcel Map</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>TPM No. 2021-198; <b>Accela No: PLN-2021-00057</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Accessor's Parcel Number (APN): 319-192-15</li> <li>330 E Lambert Rd</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project subdivides the property into approximately 32 individual office condominiums. No change of use, demolition or on-site improvements.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>CGM Development LLC (Gordon Lau)</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the project on March 28, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>N/A</li> </ul>

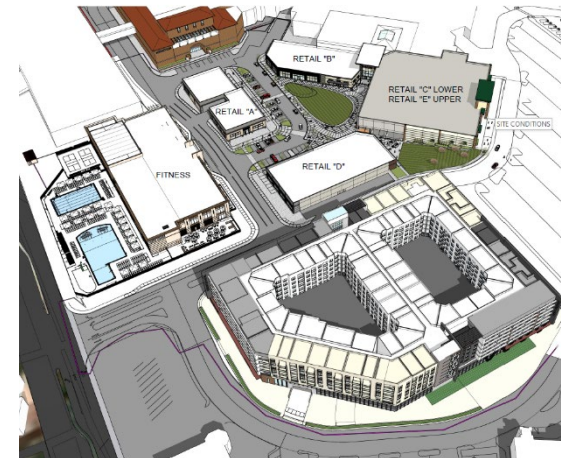
**PROJECT MAP:**



<b>INDUSTRIAL BUILDING (MAP ID: 17)</b>		<b>PROJECT MAP:</b> 
Case Type:	<ul style="list-style-type: none"> <li>Plan Review, Environmental Impact Report Addendum</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>PR No. 2022-04; EIR No. 5-81 Addendum No. 1; <b>ACCELA No. PLN 2022-00012</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>2727 E. Imperial Highway</li> <li>Assessor's Parcel Number (APN): 320-091-66</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The project includes demolition of an existing office building and development of a new warehouse with related site improvements. The building would be a total of 113,700 SF.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Prologis</li> </ul>	
Approval Dates:	<ul style="list-style-type: none"> <li>Brea Community Development Director approved the project on March 27, 2023.</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>	



<b>BREA MALL MIXED USE PROJECT (MAP ID: 18)</b>		<b>PROJECT MAP:</b>
Project:	<ul style="list-style-type: none"> <li>EIR, General Plan Amendment, Zone Change, Development Agreement, Precise Development Plan, Tentative Parcel Map, and Conditional Use Permits</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>EIR 20-01, GPA No. 20-01; ZC No. 20-01, DA No. 20-01, TPM 22-113, PD No. 20-02, and CUP Nos. 20-06, 22-17, 22-18 and 22-19 <b>ACCELA No. PLN 2021-00008</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>100 Brea Mall;</li> <li>Assessor’s Parcel Number (APN): 319-101-37 19-100-26, -62, -63, -64, -71, -73, -75 -76, -79, -89 and 319-103-22 (Note: GPA No. 2020-01 and ZC No. 2020-01 apply to the entire Brea Mall site)</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The project includes: (1) General Plan Amendment to change the General Plan Land Use designation of the Project site and the Brea Mall from Regional Commercial to Mixed Use I; (2) Zone Change to change the zoning designation of the site from Major Shopping Center (C-C) with a Precise Development (P-D) overlay to Mixed Use I (MU-I); (3) Development Agreement to define the terms of development proposed by vesting the City’s approval while specifying public benefits and improvements; (4) Precise Development Plan to demolish the former Sears building and surface parking lot and allow a new mixed-use development that includes retail, restaurants, for-rent residential apartments, a resort-type fitness center and an outdoor gathering space; (5) Tentative Parcel Map for subdivision; and (6) Conditional Use Permits for shared parking, to establish the Brea Mall sign program, to allow on-site alcohol consumption of beer, wine and distilled spirits within dining establishments and to allow a fitness center</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Simon Properties</li> </ul>	

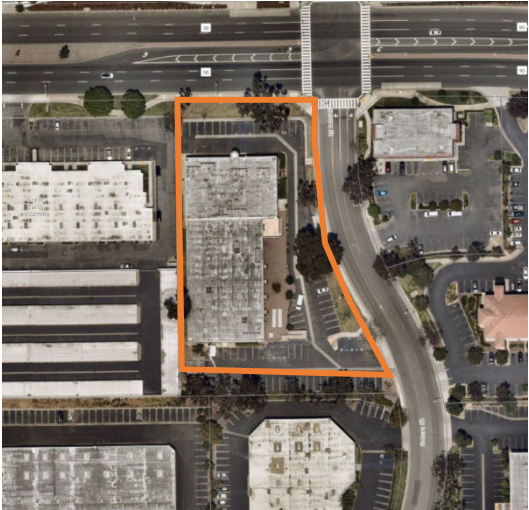


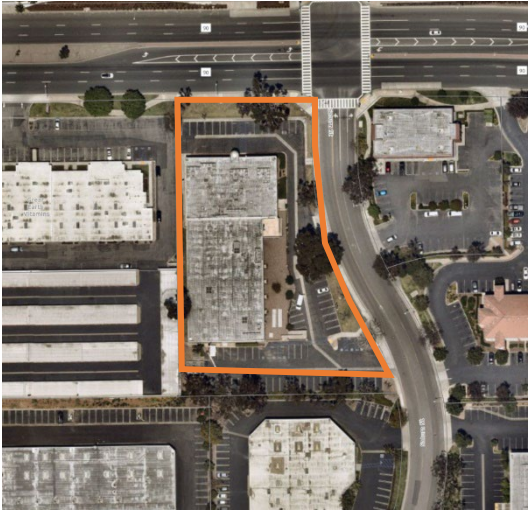
Approval Dates:	<ul style="list-style-type: none"> <li>• Planning Commission Study Session (Project Preview) was held on September 27, 2022.</li> <li>• Planning Commission Public Hearing (Project Introduction) was held on October 25, 2022.</li> <li>• Planning Commission recommended approval of the project to the City Council on December 13, 2022.</li> <li>• City Council Public Hearing (1<sup>st</sup> reading) was held on May 2, 2023.</li> <li>• City Council approved the project during the 2<sup>nd</sup> reading on May 16, 2023.</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>• In building permit plan check process</li> </ul>	

<b>GASLIGHT SQUARE REDEVELOPMENT (MAP ID: 19)</b>		<b>PROJECT MAP:</b>
Case Type:	<ul style="list-style-type: none"> <li>Precise Development, Conditional Use Permit, General Plan Amendment, Zone Change, Conditional Use Permit</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>PD No. 22-01; CUP No. 22-03; GPA No. 22-02; ZC No. 22-02; CUP 22-13 (Amend CUP 90-20); <b>ACCELA No. PLN 2022-00011</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>255 E. Imperial Highway</li> <li>Assessor's Parcel Number (APN): 319-292-31, 319-292-33, 319-292-35, 319-292-36</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The Project retains two of the existing five buildings that are currently used for medical uses. The remaining three commercial buildings totaling 18,286 square feet would be demolished and a new 2,000 square foot drive-through restaurant with an outdoor seating area and a 6,000 square foot commercial building consisting of 2,400 square feet of restaurant and 3,600 square feet of medical or retail space would be constructed.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Dwight Manley</li> </ul>	
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission Public Hearing (Intro to Project) held on January 24, 2023.</li> <li>Planning Commission recommended approval of the project to City Council on April 11, 2023.</li> <li>City Council Public Hearing (1<sup>st</sup> reading) held on May 16, 2023.</li> <li>City Council approved the project during the 2<sup>nd</sup> reading on June 6, 2023.</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>Pending building permit plan check submittal</li> </ul>	



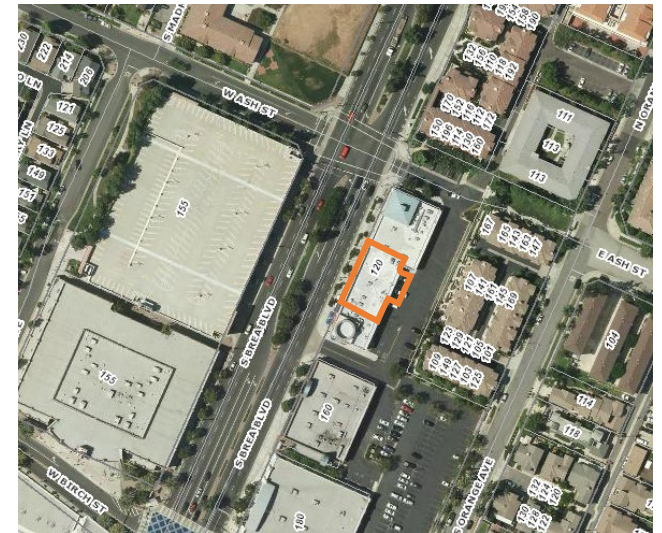


<i>SOUTHLANDS CHURCH FENCE HEIGHT (MAP ID: 20)</i>		<b>PROJECT MAP:</b> 
Case Type:	<ul style="list-style-type: none"> <li>Administrative Adjustment</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>AR 2023-01; <b>ACCELA No. PLN 2022-00027</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>2950 E. Imperial Highway</li> <li>Assessor's Parcel Number (APN): 336-631-21</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The Project increases the height of the fence along Imperial Highway from 30 inches to 42 inches.</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Planning Division (<a href="mailto:planner@cityofbrea.net">planner@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Southlands Church</li> </ul>	
Approval Dates:	<ul style="list-style-type: none"> <li>Community Development Director approved the application on February 1, 2023</li> </ul>	
Current Status	<ul style="list-style-type: none"> <li>Pending building permit plan check submittal</li> </ul>	

<i>RESIDENCE INN FENCE HEIGHT (MAP ID: 21)</i>		<b>PROJECT MAP:</b> 
Case Type:	<ul style="list-style-type: none"> <li>Administrative Adjustment</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>AR 2023-02; <b>ACCELA No. PLN 2023-00011</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>180 S. State College Boulevard</li> <li>Assessor's Parcel Number (APN): 319-322-04</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The Project increases the height of the fence that screens the generator from 6 feet to 8 feet</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:JessicaN@cityofbrea.net">JessicaN@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Jason Muller</li> </ul>	
Approval Dates:	<ul style="list-style-type: none"> <li>Community Development Director approved the application on February 14, 2023</li> </ul>	
Current Status	<ul style="list-style-type: none"> <li>Construction complete</li> </ul>	

<b>BOILING POINT OUTDOOR PATIO (MAP ID: 22)</b>	
Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-03; <b>ACCELA No. PLN 2023-00017</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>120 S. Brea Boulevard, Suite 106</li> <li>Assessor's Parcel Number (APN): 296-364-25</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The Project include a new outdoor patio for a new business, Boiling Crab</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Aejandra Zoquipa</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Community Development Director approved the application on June 6, 2023</li> </ul>
Current Status	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**

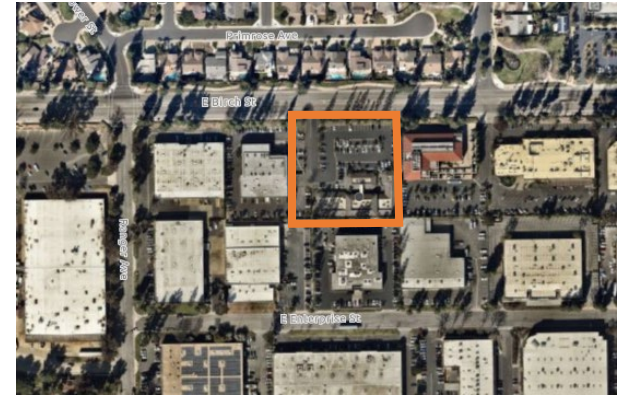





**THE CRAFT BEAUTY BAR (MAP ID: 23)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-03; <b>ACCELA No: PLN-2023-00028</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor's Parcel Number (APN): 330-222-23</li> <li>3000 E Birch St, Suite 109</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project establishes a beauty salon that offers services such as facials, lash extensions, and waxing on an appointment-only basis at a suite located within an existing office building.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Esteban Rubiano, Assistant Planner (<a href="mailto:estebanr@cityofbrea.net">estebanr@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Gabriela Cortes</li> </ul>
Approval Dates:	<ul style="list-style-type: none"> <li>Planning Commission approved the project on June 13, 2023.</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In operation.</li> </ul>

**PROJECT MAP:**



<i>DR. SQUATCH SCREENING WALL (MAP ID: 24)</i>		<b>PROJECT MAP:</b> 
Case Type:	<ul style="list-style-type: none"> <li>Plan Review</li> </ul>	
Project No.:	<ul style="list-style-type: none"> <li>PR 2023-04; <b>ACCELA No. PLN 2023-00019</b></li> </ul>	
Project Location:	<ul style="list-style-type: none"> <li>114 S Berry Street</li> <li>Assessor's Parcel Number (APN): 296-141-01</li> </ul>	
Project Description:	<ul style="list-style-type: none"> <li>The Project include a screening wall for equipment on the east side of the building</li> </ul>	
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>	
Applicant:	<ul style="list-style-type: none"> <li>Robert Lieu</li> </ul>	
Approval Dates:	<ul style="list-style-type: none"> <li>Community Development Director approved the application on June 22, 2023</li> </ul>	
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>	

**BREA PLAZA REMODEL (BUILDINGS E – G) (MAP ID: 25)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit, Precise Development</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-23; PD No. 2022-12; <b>ACCELA No: PLN-2022-00078</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor’s Parcel Number (APN): 319-391-01</li> <li>1639 E Imperial Hwy</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes demolition of a 18,425 square foot theater (Building F) and remodeling Buildings E &amp; G for retail ground floor use and a new second floor for office use. Building E would add 7,787 square feet to the ground floor and a new 6,500 square foot second floor with a 3,028 square foot outdoor patio, and a new loading area to the rear of the building. Building G would add a new 8,480 square foot second floor with a 1,048 square foot outdoor patio.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jessica Newton, Senior Planner (<a href="mailto:jessican@cityofbrea.net">jessican@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>Waad J. Nadhir</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>August 8, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>In building permit plan check process</li> </ul>

**PROJECT MAP:**





**POPPING YOLK CAFÉ – ON-SITE ALCOHOL (MAP ID: 26)**

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2023-01; <b>ACCELA No: PLN-2023-00014</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>Assessor’s Parcel Number (APN): 029-331-28</li> <li>1160 E Imperial Hwy, Suite J</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project includes an on-sale beer and wine alcohol license at a sit-down restaurant (Popping Yolk Café).</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Cristal Nava, Assistant Planner (<a href="mailto:cristaln@cityofbrea.net">cristaln@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>PYC Brea (Jason Tsai)</li> </ul>
Approval Dates	<ul style="list-style-type: none"> <li>August 8, 2023</li> </ul>
Current Status:	<ul style="list-style-type: none"> <li>Restaurant is under construction</li> </ul>

**PROJECT MAP:**



# REPEALED/DENIED

## SHOOT SOCAL (MAP ID: 1)

Case Type:	<ul style="list-style-type: none"> <li>Conditional Use Permit</li> </ul>
Project No.:	<ul style="list-style-type: none"> <li>CUP No. 2022-19; <b>ACCELA No. PLN 2020-00065;</b></li> </ul>
Project Location:	<ul style="list-style-type: none"> <li>524 E Imperial Highway</li> <li>Assessor's Parcel Map (APN): 284-211-04</li> </ul>
Project Description:	<ul style="list-style-type: none"> <li>The project included a request to establish a new business - a retail sale of firearms and ammunition in conjunction with the retail sale of sporting goods.</li> </ul>
Project Planner:	<ul style="list-style-type: none"> <li>Jason Killebrew, Community Development Director (<a href="mailto:jasonk@cityofbrea.net">jasonk@cityofbrea.net</a>)</li> </ul>
Applicant:	<ul style="list-style-type: none"> <li>David Anderson</li> </ul>
Decision Date:	<ul style="list-style-type: none"> <li>Planning Commission Public Hearing was held on October 25, 2022.</li> <li>Planning Commission denied project on December 13, 2022.</li> </ul>
Final Decision	Denied

### PROJECT MAP:



